



Town of Blowing Rock

Date: Tuesday, March 8, 2022, 6:00 p.m.

Location: 1036 Main Street, Blowing Rock, NC 28605

Agenda

Item		Present & Participants
I.	CALL TO ORDER – ROLL CALL FOR ATTENDANCE	Mayor Charles Sellers
II.	PLEDGE OF ALLEGIANCE	Mayor Charles Sellers
III.	APPROVAL OF MINUTES – By Roll Call 1. February 8, 2022 – Regular Meeting Minutes and Closed Session Minutes 2. February 14, 15 & 16, 2022 – Retreat Minutes REGULAR AGENDA ADOPTION	Mayor & Council Mayor & Council
IV.	CONSENT AGENDA: 1. Budget Amendment #2021-04 2. PARTF Agreement - contract 3. Tax Advertisement – Date Approval	Mayor & Council
V.	PUBLIC COMMENTS..... <i>comments shall be limited to three (3) minutes</i>	
VI.	PRESENTATIONS: 1. Watauga County Property Tax Revaluation	Watauga County Tax Department
VII.	PUBLIC HEARING: 1. ST Rental Ordinance 2. Blowing Rock Country Club	Planning Director Kevin Rothrock Planning Director Kevin Rothrock

VIII.	REGULAR AGENDA: <ol style="list-style-type: none"> 1. Retreat Recap 2. EMS Resolution 3. Board Appointments 4. Parking Committee Discussion 5. Underground Utilities 6. Parks and Recreation Summer Camp Fees 	Town Manager Shane Fox Town Manager Shane Fox Town Manager Shane Fox Police Chief Aaron Miller Town Manager Shane Fox Park and Rec. Director Jennifer Brown
IX.	OFFICIALS REPORTS & COMMENTS: <ol style="list-style-type: none"> 1. Mayor 2. Council Members 3. Town Attorney 4. Town Manager 	
X.	CLOSED SESSION – NONE	
XI.	ADJOURNMENT/RECESS... <i>Mayor Charles Sellers entertains a motion and second to adjourn or recess the meeting.</i>	

Town Council Meeting - Tuesday, February 8th, 2022

The Town of Blowing Rock Town Council met for their regular monthly meeting on Tuesday, February 8, 2022, at 6:00 p.m. The meeting took place at Town Hall located at 1036 Main Street Blowing Rock, NC. Present were Mayor Charlie Sellers, Mayor Pro-Tem Doug Matheson and Council Members Albert Yount, David Harwood, Melissa Pickett and Pete Gherini. Also present were Town Manager Shane Fox, Town Attorney Allen Moseley, Town Engineer Doug Chapman, Fire Chief Kent Graham, Parks and Recreation Director Jennifer Brown, Police Chief Aaron Miller, Planning Director Kevin Rothrock and Public Works Director Matt Blackburn, Finance Officer Nicole Norman and Town Clerk Hilari Hubner who recorded the minutes

Tue, 3/1 8:45AM • 1:40:51

SUMMARY KEYWORDS

lake, town, council, gave, years, delivery trucks, question, water, problem, pete, study, issue, doug, maple street, road, silt, stormwater, point, dredge, meeting

SPEAKERS

Dr. Bunky Davant, Hilari Hubner, David Harwood, Aaron Miller, Allen Moseley, Doug Matheson, Kent Tarbutton, Shane Fox, Albert Yount, Melissa Pickett, Pete Gherini, Charlie Sellers, Doug Chapman, Rick Parsons

Doug Matheson 00:00

Charlie Sellers 07:02

Good evening, ladies and gentlemen and welcome to our Town Council meeting this evening, February 8, 2022. Roll call for attendance.

Pete Gherini 07:10

Here

Albert Yount 07:14

Here

David Harwood 07:16

Here

Melissa Pickett 07:17

Here

Doug Matheson 07:19

Here

Charlie Sellers 07:20

Pete, you'll have to refrain from any voting until once you're sworn in and then of course you're official. All right, moving right along to approval of minutes January 11, 2022. Do I have a motion?

Doug Matheson 08:12

So made

Charlie Sellers 08:13

Do I have a second?

Melissa Pickett 08:14

Second

Charlie Sellers 08:15

Any discussion? All in favor

Albert Yount 08:21

Yes

David Harwood 08:21

Yes

Melissa Pickett 08:23

Yes

Doug Matheson 08:23

Yes

Charlie Sellers 08:24

Approval of minutes January 20, 2022. Do I have a motion?

David Harwood 08:30

So moved

Albert Yount 08:31

Yes

Doug Matheson 08:31
Second

Charlie Sellers 08:31
All in favor?

David Harwood 08:33
Yes

Melissa Pickett 08:33
Yes

Doug Matheson 08:33
Yes

Hilari Hubner 08:37
Administered the Oath of Office to newly elected Council Member Pete Gherini.

Charlie Sellers 08:38
All right, we have the oath of office for Pete "Pier" Gherini Congratulations. We're so pleased to have you home. Thank you for running and putting your name in the hat. Welcome to the Board.

Allen Moseley 10:51
All right, moving right along. Regular Agenda adoption. Do I have a motion.

Melissa Pickett 10:55
So moved.

Charlie Sellers 10:58
Do I have a second?

Doug Matheson 11:04
Second

Charlie Sellers 11:04
Any discussion on the Regular Agenda? All in favor.

David Harwood 11:11
Yes

Melissa Pickett 11:11
Yes

Doug Matheson 11:11

Yes

Albert Yount 11:11

Yes

Pete Gherini 11:11

Yes

Charlie Sellers 11:15

Approval of consent agenda. Now keep in mind Council there's no discussion on Consent Agenda. Do I have a motion? Doug motion first, then Pete second. All in favor?

Doug Matheson 11:35

So made

Pete Gherini 11:36

Second

Albert Yount 11:37

Yes

David Harwood 11:42

Yes

Melissa Pickett 11:44

Yes

Doug Matheson 11:44

Yes

Pete Gherini 11:48

Yes

Charlie Sellers 11:49

Consent agenda is approved. Thank you so much. Now, public comments. Keep in mind, please keep it to three minutes. And in all due respect for those who want to speak and for moving the meeting forward in a very productive manner. So if you would like to speak, please get with Hilari and give her your name and address. We have one so far, it would be Mr. Rick Parsons. Mr. Parsons, would you step up to the podium? How are you sir?

Rick Parsons 12:24

Great, thank you.

Charlie Sellers 12:25

Fantastic, welcome.

Rick Parsons 12:26

Always good to be here.

Charlie Sellers 12:27

Just for the record, if you would state your name and address.

Rick Parsons 12:29

My name is Rick Parsons I live in 1577 Green Hill Road. And I'm here once again, to talk about my favorite subject, which is traffic on Green Hill Road. I have a print out for each of the Council Members a copy of the summary of the Ramey Kemp study, a response to the study, primary conclusions and recommendations. I will not go into this in detail at this point in time. I would like to say for some of you here this evening, and myself, it's our anniversary. This is the fifth year that I've been coming to speak to some of you about the traffic problems on Green Hill Road. And I'm here again to talk about the same problem. During that time the traffic speed, volume data has been collected numerous times. And of course, most recently, an independent traffic study was conducted. And yet the cars continue to speed and the noise can still be heard for miles from the parkway all the way to well past Edge Hill Road. The public comments in the recent study were overwhelming and highlighting the speed and safety concerns on the road. And although there were many problems with the data used in the recent study, it does demonstrate the chronic speeding problem on Green Hill Road. Shane has put up some of that data. Some of that other data is included in the report that I gave you. I'm demonstrating from the least biased data. Some of the issues that face us on Green Hill Road. Now this is a summary of the southbound traffic indicating maximum speed reported by hour over the period of time in which the data was collected. So it's not happening all the time, but it is what is actually car speed reporting. The black is 10 to 14 miles over the posted speed limit. The yellow is 15 to 20 miles over the posted speed limit, orange is 20 to 24. Red 20 to 29, and of course, the star is almost 40 miles per hour over the posted speed limit. And that's 65 miles an hour. It's actually 60, for the record. So I don't know what you think about a residential street. But I don't consider 60 plus miles an hour being a reasonable speed. Now, approximately 380 cars a day you travel in both directions on the street. If you look at speeds over 10 miles per hour above the posted speed limit, that would equate to about 50 to 60 cars traveling at speeds 10 miles or higher over the posted speed limit daily. You extrapolate that to the northbound you're now talking about 100 to 120 cars a day speeding. Again, I don't think that's typical for a residential streets. These speeds were similar to speeds that were recorded as far back as 2017 in previous studies, so this isn't a new problem, it hasn't become apparent because of the road. It's always existed, it's just gotten worse. Now, enforcement's not a solution. You can see it happens in almost every time period. So if you wanted to enforce this problem away, it would have to be enforced 24/7. I don't think that's cost effective. And I don't think it's the best use. You know, during the study it was recommended speed indicator flashing lights were put there to indicate the speed limit. Those weren't paid attention to during the traffic study, that sign was flashing 25 miles an hour, while people were still speeding in both directions to suggest from the study that they should be implemented again, totally makes no sense at all. So really, what we come down to are the two options that we had known about since day one, stop signs and speed limits. Neither of which were really addressed in the study. As a matter of fact, with the exception of Green Hill Circle, no other street, no other intersection

between Green Hill and the parkway was actually looked at for safety and visibility issues. And it wasn't until the Town Council brought it up about Fairway Court that they went back and revisited that intersection for visibility and ultimately put in a stop sign. Now if that problem exists there it existed on Heather Ridge and Wonderland Drive. It also exists where you have speed problems were Wonderland intersects all of these problems, and the lack of stop signs and or speed bumps contribute to the speeding problem.

Charlie Sellers 17:56

Rick, your time is up.

Rick Parsons 17:58

I am over, sorry. Speed humps one last thing about speed humps, no one likes them, I understand that. Snow removal doesn't like them in the winter. I suggest if you want to consider speed humps that you can put in temporary speed humps that you can take out in the winter. That would solve the issue with snow removal. But you have not addressed any of these in this study. And during the question period for Ramey Kemp, not a single Council Member asked any questions about speed. And again, the data supports the problem. The question is what is the Town and what are we going to do about this? I'm here to help provide solutions. But it's five years now is it's enough time to kick the can down. Thank you.

Charlie Sellers 18:44

Thank you. Well, I'm sure that's going to be an ongoing discussion for the years to come, hopefully months to come or whatever. Moving right along. We have a presentation and this is a resolution honoring one of our longtime physicians, Dr. John Davis. Mayor Sellers read the resolution for Dr. Davis and presented him with the framed Resolution.

Shane Fox 23:03

Thank you, Mayor Council. Now that we have a full board for the first time in a number of months, the Town of Blowing Rock Tourism Development Board is comprised of a five member board which are aware of one of which is a current seated Town Council Member. After the resignation of the prior TDA Council Member the seat has been vacant. The Town Council shall appoint a new member that will serve a three year term beginning immediately. So it is on you all to nominate and appoint someone to the TDA Board. The next meeting is scheduled for March.

Charlie Sellers 23:34

Do we have a nomination?

David Harwood 23:43

I would like to nominate Pete Gherini. I think Pete would be an excellent choice for that. He certainly knows the landscape and would have a lot to contribute to that Board.

Albert Yount 23:56

Second

Charlie Sellers 23:58

Okay, we have a nomination made by Mr. Harwood, seconded by Mr. Yount. Any discussion on Pete's nomination? Pete? Are you in favor of this?

Pete Gherini 24:13

I am indeed.

Charlie Sellers 24:14

And we know you will serve admirably.

Pete Gherini 24:18

I will.

Charlie Sellers 24:19

Thank you. All in favor.

Albert Yount 24:24

Yes

David Harwood 24:25

Yes

Melissa Pickett 24:25

Yes

Doug Matheson 24:29

Yes

Pete Gherini 24:43

Yes

Charlie Sellers 24:46

Dr. Davant has arrived. Dr. Davant, would you like to speak about Dr. Davis.

Dr. Bunky Davant 25:12

Charlie asked me earlier if I'd like to say something during the presentation and I told him it really took someone with more stature than I had and I thought he could do a better job. I worked with John for right at 40 years. He came to us from Asheville, he was a Morehead Scholar at Chapel Hill. He was a Morehead Medical Scholar at Chapel Hill. And if he had worked a little harder, we probably could have gotten him into Duke. When he was 69, and decided he would take a little break to devote himself to his real love which is computers and electronics. They actually had planned to do this. You know, when you retired at the end of April. They wanted to do it in May or June. But they found out they couldn't do it until you had complete all your paperwork. But I do want to thank you for 40 years, he did a great job. Everybody misses you and everybody loved him.

Charlie Sellers 27:13

Thank you, Dr. Davis. Thank you, Dr. Davant. Thank you guys. Moving right along Council. Thank you for your patience on the deviating from the agenda. This next section is Maple Street one way versus current Police Chief Aaron Miller.

Aaron Miller 27:52

Thank you, Mayor, Members of Council. As I'm sure you recall, Mr. Roger Brooks was hired recently by the TDA to make some recommendations about traffic and tourism. And some things in the area. One of the things during his presentation that he brought to the forefront was the issue of Maple Street and how there was some issues turning onto Maple Street up Sunset Drive. So I've been asked to provide some information to Council so we can discuss if there needs to be any changes made to Maple Street. So Manager Fox came to me a few weeks ago and said, What do you think about Maple Street being one way? And I said, well, Maple Street probably should have been one way 20 years ago. And then I started digging into it and get some information. And I found out why it's probably not been made one way and that that period of time. So here the first photograph, and this is kind of the the issue is that the end of Maple Street on the Sunset Drive end is very narrow. It's probably wide enough for two cars to pass if they're driving perfectly. One of the things that compounds this problem is that you're making a 90 degree turn sometimes off of Sunset onto Maple Street on that end. And it's just becomes too narrow for two cars to pass so sometimes one car has to stop and wait. And as Mr. Brooks pointed out, we have some Wayfinding there that points people to parking. So we've made this one of the main entrances to our Maple Street parking lot. So as most of you aware as you turn down Maple Street from the Main Street. Maple Street is two way that it becomes one way and then it becomes two way at the end of the other and pass the interest of parking on. So that's why this issue was brought up. That's why Mr. Brooks from taking some measurements. It's 15 and a half feet there on that and that's just another photograph showing The difficulty turning. So this is the section of Maple Street that we're that we're really talking about this section is two way. But then you can see when you get up there at the Maple Street parking lot entrance, it becomes one way, coming from Main Street down. This is a photograph looking down from the Main Street end. This is where it begins the one way at the Main Street parking lot on the other end. Some suggestions, and of course it's wide, it's a pretty wide street up there it's 18 feet, there's a centerline painted, there's really no problems with vehicles passing up on the upper end. So one of the issues that has been brought up is whether or not to make Maple Street a one way street from the top entrance of the Maple Street parking lot, all the way to Sunset Drive. We obviously there are some issues, vehicles passing on that end. So we did start to solicit some information, I reached out to the Ragged Garden and I appreciate Rob and Lisa's constructive input on the issue. One of the things we ran into was some of the delivery trucks that are trying to make deliveries to the Ragged Garden Inn, and to the businesses, what was Savannas Oyster House, and some of the other businesses on Sunset Drive. They have to turn off of Sunset Drive onto Maple Street to try to get the trucks into make those deliveries. That's one of the issues that we ran into. Another issue that Ragged Garden has brought up is the very narrow entrance. I think that's been there more than 100 years, am I right about that. So when that was built, we didn't have automobiles in Bowling Rock, we used horses and carriages. And that entrance is designed for horses and carriages, and it's very narrow. So it's very difficult to turn larger vehicles into that main entrance. And sometimes they need to use the Maple Street entrance to get in. So one of the suggestions might be that we need to

lose some parking spaces on Sunset Drive in order to make their entrance usable for bigger vehicles. We also talked about bringing trucks, larger trucks down from the Main Street end, one of the questions and concerns that I have and that's been shared by others. We're not sure if some of the larger box trucks can make the turn that's there on Maple Street near Ms. Burns' house. So that's one of the issues that we've run into as well. So what I thought was going to be a very simple issue that, yes, probably it should be one way all the way down has been has proved to be a little bit more complicated than that. So that's the information I have.

Charlie Sellers 32:45

Cheif, what's the feasibility of making it one way off of Sunset, to the parking garage. Or Sunset to the parking lot.

Aaron Miller 32:58

The only downside that I see to that is you're taking all the traffic that's leaving the parking area, and you're dumping it back out on Main Street, which is already congested. And that's also a pretty busy and somewhat difficult intersection to get through, especially in the summer when we have a lot of pedestrian traffic. In my opinion, it's better to try to route as much traffic is we count away from Main Street and get them back on Sunset and but that is an option that we discussed.

Charlie Sellers 33:26

Would that enable truck traffic to get into Ragged Gardens?

Aaron Miller 33:30

It should.

Charlie Sellers 33:34

Thank you.

Doug Matheson 33:35

Any other questions?

Rick Parsons 33:40

One observation I made. The other day there were people stuck up the hill

Charlie Sellers 33:47

Mr. Parsons no. Thank you.

David Harwood 33:51

Cheif, this might be a question for Mr. Rothrock, but I believe our standard road width is 18 feet. Is that correct?

Aaron Miller 34:02

I believe that's correct.

Shane Fox 34:03

Correct.

David Harwood 34:05

And so this it tightens up just down at the bottom right.

Aaron Miller 34:11

Well it tightens up if you're if you travel down Maple Street from Main Street. It starts tightening up near Ms. Burns house just past the parking lot entrance. And then you go into that very narrow turn, which I think is nearly impossible for two vehicles, especially larger vehicles to pass in that turn. So that's probably why that section was originally made one way. But it does start to narrow there and it continues to be narrow all the way down to the Sunset Drive.

David Harwood 34:40

The turn is not a product of a parking.

Aaron Miller 34:44

No, it's it's just the way the street was designed. There's a wall on one side of the driveway. It's on the other side. But there's really no way to widen that without taking out the rock wall that surrounds a Maple Street parking lot and probably taken out a few parking spaces in the Maple Street parking lot and relaying the wall. There's not much there's not much way to make it any wider without starting to tear out some of the rock work that's been here for a very, very long time.

David Harwood 35:13

It's just a corner, right?

Albert Yount 35:18

So would you say slower what you said about taking some parking spaces off Sunset Drive for loading and unloading.

Aaron Miller 35:28

One of the issues that Rob and Lisa from Ragged Garden brought up is that it's very difficult for large vehicles to turn into their main entrance on Sunset Drive, because there's some parking spaces on the other side. But that might make it easier if one or two of those parking spaces were eliminated the ones that are closest to the school bus parking lot. I think I had a photograph of spaces. Yeah, these two spaces right here basically where the car is parked in this other studies. If those spaces were eliminated, he would make it easier for larger vehicles to turn into their main entrance.

Shane Fox 36:08

When you're saying larger vehicles are you talking like a Dodge truck like I have or a delivery truck.

Aaron Miller 36:14

Yes a large Dodge truck pick up, a suburban, anything like that, it's going to have a real hard time making making that turn. And even if you're coming up Sunset Drive, you're probably still going to have to swing across traffic across both lanes of traffic to make that turn in, it's it's really, really tight.

David Harwood 36:37

Right now they're just parking in the street correct.

Aaron Miller 36:39

Some of the larger delivery trucks are parking in the street. There's the food delivery trucks are usually like a tractor trailer kind of set up and they park in the street. Rob and Lisa told me that they had several smaller delivery trucks that are able to come in to their parking lot off the Maple Street side. And that keeps them off the street. So if we did make that one way, and they weren't able to turn up in there, we would be pushing a few more trucks. Few more delivery trucks out on Sunset Drive, making deliveries. And that's also the case I have observed delivery trucks making deliveries to like Savannas Oyster House and some of the other businesses there. They also pull up in there and back around in behind Savannas. So that would probably push all those delivery trucks out on Sunset Drive as well.

Charlie Sellers 37:26

Cheif, could you mark that section? I've seen it done other communities a loading and unloading zone from certain times.

Aaron Miller 37:37

I'm sure that's something that we can consider, I would have to put some thought into that, but I'm sure we could look into that.

Doug Matheson 37:45

I was just going to ask now that there's a lot of things that we you know, like the cheif mentioned, that just came up here recently, if we could actually table this till you know, like, we don't know if a box truck can even make that turn there at Janice Burns, you know, we'd like to get some measurements there you know, find out what will make that turn. Couple ideas that's been thrown out there to let to let the Cheif, explore a little bit more like those two parking spaces, maybe just making them a loading zone and let the trucks go from there across the street instead of trying to get in, you know, just some things that the chief has recently, thought of that I like to see him narrow down for us if I'd be alright.

Aaron Miller 38:38

Yeah, I do think we've had quite a bit of input, since this was put on the agenda. And since we started soliciting some input, so some more time to study and come up with some other possible alternatives would probably the great.

David Harwood 38:53

I think that's a great idea. I'd like to look at potentially putting a radius here or call that aisle as a dead in aisle. So we could look at that, the stone wall needs work anyway. What we might be able to do, yeah, I would support that.

Melissa Pickett 39:14

I would to.

Charlie Sellers 39:16

Okay, so you all are in agreement that you want to table this until more research is done. Okay. All right. So no decision will be made on the Maple Street, one way versus current until more informations brought back to the Council by Chief Aaron Miller.

Aaron Miller 39:35

Sounds great. Thank you.

Charlie Sellers 39:36

Good guys. Okay. All right. Thank you, Chief. All right. Moving right along, Chetola Lake Cofferdam. Mr. Fox.

Shane Fox 40:09

Thank you, Mayor and Council. So, Mr. Kent Tarbutton and Greg Tarbutton is also on the meeting tonight via zoom. And they are coming before Town Council to respectfully request assistance in removing the soil and other debris that's collected in the stream cofferdam area, at Chetola Resort. This is the follow up request from September 8, 2020, regular Town Council meeting which the Council at that point chose to table it until a future date. So here we are on February the 8, 2022 at that future date. I did provide in your packet, the original information that was part of September 8, 2020 packet, along with a copy of the minutes from September the 8th. And then the additional information that was provided via an email from Mr. Kent Tarbutton and then historical data as well, from the original easement agreement in 2014 that was provided. So you all have that information as part of your packet. And at this point, would be more than happy to turn it over to either Kent or Greg, I'm not sure which one has chosen to go first or maybe they can fight it out among themselves.

**Note Mr. Tarbutton and Mr. Chapman were on via Zoom and the auto quality was hard to record, so it may not be transcribed completely.

Kent Tarbutton 41:19

I will kick it off Shane if you are ready. Thank you Council for hearing our request. I thought it was interesting when you mentioned what it looked like 100 years ago, I saw pictures of the downtown area. I think it was from the 30s and 40s and it showed dirt streets. was decided before it goes into the lake, he then as now realizes this ad group, sort of problem it looks like in our back, we started looking at this years ago that it was a national policy author on the route or reading sewer water, and in towns over 50,000 that has some kind of thing. As you go listen to us all from your town, the town would step up. On Friday, it's like sound, the sound is 1000. So it's kind of 50,000 probably going to live here. But I think it makes a pretty good statement about fair play and setting goals. And if your neighbors feel suddenly add a lot of water and wasn't well maintained to the soil or property, or like your driveway, sure you want them to do the right thing to do. So down in 2013 sort of hospitalist are approaching that like old like Soul to death, you know, not all the bidding and everything else is going on to the process, as though some of your review would have been back in two years ago. And you'll the basic bar for

about half the price what we did, right where we go in business, and that's where we did we were able to do that lake sound came forward at that time the council invited him back forth and initially gave smote about dollars. The homeowners that stolen we put 73,007 25 elephants at Lake mix. Sure several things that I can back in. Yes, why they did. I would say it's worth it. And I'll wrap because they realize that since the drought that began years before that documents back in 1998 9990 and 2000 was the drought and whatnot. And that leak provided over the next two decades over 750 million gallons of water sent with Annabelle watching you use that we all need it. I think it was probably one of the reasons why I was a great backup our spot. And they also knew from that earlier study that I have been in the Army Corps of Engineers determine that 84% of all stormwater, if the kind of boy rock produces there's going to like I've been real happy to see the town council working with you a few they did a road project in front of all this extension. They have done some marvelous work with this little model then, and I know the town's continued to budget annually assuming documents that you continue to do so automatic that helps her like in reality. So here you come ever see it, I got the old pictures but two years old of that copper dam filling completely up and coming to the surface of the lake. So you know they knew that any person that comes in or likely brachfeld So you have a quarterback then solace that they like that because in modern times they realize that it wasn't big was hitting us better than last moments. It gave a much bigger space for that bloggers allow the debris and salted Rafi which is exactly what we you know, like I think the purging they do was that they wanted to maintain the water Quality of delivery. This is one of the bodies that provides one or two rivers a link. So I think we're conscious of what the environmental is doing downstream. I think lastly, the health was fair, if it was equitable, and it was reasonable. I guess I come to you that somebody's saying humble request, considering that all the precedence has been set and health care for support resources there when you need it, and silently it collects all this stuff becomes downstream every day. So that's all I've got. I'm happy to answer any questions all this path will show you all the numbers, the guards rights, because the cheap anybody up here and doesn't want to sound. So that's why we working on lossy and how yours if we keep everybody else over these last couple of years, I think we're very attracted to the price of risk, we'll do it. And you have to pay 90,000 changes in Docs, and bags. And I'm open to them for the assistance of all rock I'm sure they will. And put it on paper just last time we had several people bring their their pickups and dump trucks to get loads on it. As you know, when we did the lake it was it's in there too. But I think it was \$100,000 to move that. Get rid of it back then in the recession. A little harder for those who might have Blue Ridge Mountains. That's important. And all it needed was a little line. So thankful almost all it is is we would certainly prefer for all of your yard packing tape. And hopefully it won't run out frequently. So I got

Shane Fox 46:35

Council, I would add the request is \$19,431.60 is the request that's been made by Mr. Tarbutton.

Kent Tarbutton 46:45

That's the price that we gave you back in 2020. And as I mentioned we increased that with the dredge operation but we are not going to raise it in this scenario, because we requested it. And we think it would be fair just to leave it there.

Charlie Sellers 47:00

Council may say something

David Harwood 47:03

I prefer to let each of the council members talk first.

Charlie Sellers 47:07

I was waiting. That's my call, go for it.

David Harwood 47:13

That would be the proper procedure. Kent I do have a question. I'm a little confused as to why Chetola is asking \$19,000 of the Town.

Kent Tarbutton 47:49

Is that is that the whole question?

David Harwood 47:53

Yeah, cause I'm confused because there seems to be two issues. There's an issue of sediment. And then there's an issue of having water capacity for the Town's emergency water needs. And so I'm trying to decipher between is this request because of silt buildup that supposedly is coming from sources within the town limits? Or is this to facilitate enough capacity in the lake for emergency needs of the town?

Kent Tarbutton 48:39

Good question, the question, and it really ties together. So let me let me address it. First of all, we didn't substantiate 84% of that coming from the Town that was from the Army Corps of Engineers study. So that's the one of the documents we sent over. They determined years ago, when we had to do a full breach damn study for the Department of Insurance. Who was going to cancel our insurance on that damn we was ride by racer in high risk game so I had to spend \$1,000 So there was 30 He had to get the information power for because yours as far as Mandy Roshan from the park which is over on this side and for the town coming in baggy day in there at the opera am a security and they came back and record at or at full sentence study that we pay for. So that is how much has actually come into town. I think that's why they gave us money back and unforeseen to help read the lake was back over again sauce that flows down is off most of it going in life. So if you keep that smaller area clean now, there is an ordinance that is out. Income from if you look at three runs, illustrates the different things that we're going to form like we add, it brings down a whole lot of stuff. Find has recorded as a lake because it's a lot cheaper to take it out of a scam than it is take it out that like, I think the reason that took nine is because they realize what it sound and only infrastructure, the townhouse brings all of that down. And you're like, there's many towns that have a city and placed in discussion of new properties and care for more, because they realize more suitable buildings that go out is. So anyway, it as it comes down, it comes into the light and fills it up and as she was good estimates is worse. And I think that's probably why they should have ways One was to say, Hey, we are sitting over someone. And the other thing is, we're all we're both all down. And suppose Well, he's been around, I'm sure there's some there have to be for the four monitors so that when you have your grains, so we'll find out that I think the counselor board was on the planning that they've been doing the last five years in trying to mediate this is we considered you bill for creating more space that doesn't allow for conflicts. So make streets. And that's

what we're dealing with it as opposed to the poverty and the lake and he reduced the water supply. That lake when it was between two and three key in different areas. And we had an emergency, it was not logical at all. So I think both of those are connected, I think while we come to the sound of the water without found in all of us who are paying taxes, or sending a hard wreath of streets and oil and everything else that comes into that light. And this level there for us, it's been with us for 20 or 20 years, or looking at a little over two decades, we willingly and happily gave the soundwave cars, over 750 million gallons of water that you sold by phone blows your mind. So I felt like I was getting water is dumping all the silver or downstream freeze and all the inactivity river. And yet we were left with the burden of hearing that that's all I came to the town recently and said, Hey, this is you know, I take it all the water freezing most of the silt before it goes downstream, and I'm giving it back to you. We didn't have 20 years. So I think it's fair to come back to the town and say, hey, you need to help preserve the central repo. You know, I find a boon. But if there's an emergency that comes again, you'll be looking just solely to try and get off and we all need when Grady call me an sp for that. That's what we're bringing over, I'd be happy to sign it. Because when we couldn't pick it off, we only want that's why I think it sounds

David Harwood 52:40

Well, I don't know if it's free of charge. I went in 2014 the Town paid \$200,000 to Chetola and I went back and looked at the minutes from the June 25 meeting. And I'm gonna quote that it says as compensation for past water emergency access and usage and to help dredge the lake which will help ensure that future capacity exist. Chetola is requesting the Town's financial participation. Due to sediment buildup from stormwater over the years, the depth of the lake has decreased and the water capacity of the lake has increased making dredging necessary. So in my opinion, it seems that the Town was paying \$200,000 to ensure a emergency water supply, but not necessarily taking liability for the silt. And just because 84% of the storm water comes into the lake doesn't necessarily mean 84% of the silt comes from that stormwater. And what I'm saying it's I'm not sure that 84% of that silt is coming off Town property. Because this stream winds through the golf course several other legs. It runs through a lot of private property before it gets here. And that private property has eroding banks. So I feel like that the payment that was made in 2014 was really to ensure a adequate emergency water supply, which we don't necessarily need because of the interconnect. But we did need it that time. There's no and I want to emphasize it. We're very grateful. You have been a wonderful neighbor to the Town. But I also think that we paid for that graciousness in 2014 to the tune of \$200,000 to help by dredging equipment. And which so I feel like my personal opinion is that silt, I would have a hard time voting to give \$19,000 to this cause, when we really don't know the origin of that silt. If the Town is liable for that, then we should probably take a look at that. But I don't have a study in front of me that's that states that.

Kent Tarbutton 55:37

Well, it's let on a couple things. First, I'll get the Army Corps of Engineers study. Because I don't know anybody better to do that study, than the Army Corps of Engineers. And I think maybe that's what you need to read to see what that is from. That was their determination. And if they were saying 84% of the stormwater comes through there, I can come back to them and certainly say, are you going to give us a reading on how much it is silt? You know, as it comes in from other sources, we are participating, there is no question about that. And I think that's why both the homeowners put up a little over \$74,000

themselves because they felt like, well, we all share responsibility for this sort of house payment. And she said that she feels equitable. And one of the letters I've given you, and I pulled it down. So my waterfall, so no, you haven't made an effort. I want to charge if you haven't been a deposition, because they were within I sent a letter JV sense. And it was signed, we had an interest in that year when I agreed for one year to do that, and did it for the money up and air industry. He was hurt to the people that are willing to laburnum 10 days to get the eight. So I certainly put a hand you have to buy in and said, Yes, I won't have what you want. You know, I never asked you guys to reduce my water bill, which is always water bill or anything along the way. It sort of houses. If you look at those requested documents, David, did you have that meeting? Flying it also see that at the end of his follow up, or over two and a half times what we started to do that? I think we've been very equitable than that. And I think that if you're saying seven 50 million gallons of water you paid for with sure, as knows exactly that out? Is there a way? There's a way that you if you have a boom right now, who calculated on that, and you're not even close to the ballpark? We think it's fair, because oil is send it in early, and you need to help us out because that's what's gonna be a bad watch. That yes, we do. But we may only need that one year in. And this is my deciding factor. I'm not gonna put you in this meeting and say, Well, I'm not very happy with it. Sally doesn't participate with us. For four years, at least. And I think you're saying this out loud and equitable. You haven't really done much research is what was asked. I don't think I

David Harwood 58:11

I didn't say if it was equitable or inequitable. I didn't cut that deal.

Kent Tarbutton 58:18

I thought you said you paid for it already?

David Harwood 58:22

Cut that deal with Chetola. I didn't say it was equitable. But if that's the case, at what point is Town square, with you, on your good deed,

Kent Tarbutton 58:32

It's not my good deed. Let's forget that I gave the town water at all. And let's just talk about the silt that is coming in. Again, you're not in a document that North Carolina has whatever it is a Statute for a Town that have over 50,000 that they go after stormwater. As you're not liable, you're going to begin with it's not about liabilities, it's about responsibility. It's about what you think is equitable and fair. If you think that there's no need to pay anybody, nothing at all, then maybe one day, you'll have that happen to you and your neighbor will say it's not my problem that's your problem, and then I'll have to be responsible for either way, we're gonna dig this out whether the Town helps us or not. It's starting to erode again all the way. And the last thing I will tell you is if you go back and pull the document Allen Moseley drew up when we got the \$200,000 and read that real careful, because it provides it says that you'll help us maintain that lake and dredge that lake, as long as we want to keep your agreement going with us for your emergency water supply. And it can't get any more solid than three feet before all bets are off. At that point, that lake is filled in and that's what was happening it's been many, many, many years for that to happen. That's why we keep dredging out as often to slow down. But you know, I think everybody wants to use that lake but you have to dredge to keep up with it.

Shane Fox 1:00:03

I have a question it keeps coming up about this being our emergency water supply is the equipment still in place to pull water out of the lake. Not currently

Kent Tarbutton 1:00:16

The pump is not we buried the lines underground, when they first put the pump, at least for several years and they finally figured if you know, we're gonna keep using it. I don't know what the Town has done with it, but it's been removed. We had already built an enclosure around it to be more attractive and less noisy for guests to go down to the dam to fish as it was right there. We really wanted to put it on the downside. And I don't want to stand the bar losing hearing but a really nice upside to the lake for some reason. Instead of passing it back a little bit, and so forth. So that had to be piped for then overground ran into our parking lot for years. And we didn't request it. I'm very happy though the Town came back and said hey we want to bury these lines. So they are buried between us and the Town reservoir.

Shane Fox 1:01:02

So if we were in a drought, say tomorrow, and we needed emergency water, we could pull it out of the lake tomorrow,

Kent Tarbutton 1:01:08

You could, but you got to get a big pump. Yes, we also allowed an easement to put a powerline there, they're bringing power and all the stuff that is still in place, you could not remove it. So you have to put a big pump. If y'all kept that pump or not, but you did buy it way back when.

Albert Yount 1:01:28

Hasn't the state made a ruling about the water in Chetola and our usage of it.

Shane Fox 1:01:38

In 2019, I believe that's correct, the state looked at the quality of the water and gave us a report. That was after the interconnect was completed. And the choice at that point was to remove the pump and rely on the interconnect. So those decisions were made along the summer of 2019. So the pump had not been operable. I think for a little while at that point and removing it was the choice of the Town. That was my decision at that time. The pipe as Mr. Tarbutton said remains there and will probably remain there for a definite amount of time it's been buried completely from end to end.

Albert Yount 1:02:14

Does the water have anything to do with the States

Shane Fox 1:02:18

It is so the state looks at the quality of all water sources and puts a high precedence of wanting to obviously maintain the quality of water, the type of quality of water that's coming out. And so that along with, again, not having prior interconnect, the decision was made to remove the pump.

Pete Gherini 1:02:40

Greg this is Pete and thank you for your presentation. My question is looking forward, this is going to be it seems an ongoing problem, do you or Doug Chapman, or any other people have a long term thought process or solution to how this might be rectified. So in five years, you're not coming back and saying you know you need more money.

Kent Tarbutton 1:03:13

I'm qualified to answer that but, I'll give you my thoughts. And you know, it really is your pocket chart here. I would just tell you that that's why Luther built the cofferdam. And Greg and I were very frustrated with all of it coming into lake we talked about building one up further on our property but all its gonna do is back it up into the property across the street flood that area accessible area. And if y'all remember years ago, the beaver built a house inside that culvert underneath the road there and it immediately backed up into the property across the street and flooded the whole area anyway and it started backing up into the Town. We don't want do that because I don't have any other solution than to build another cofferdam back up further. So I'm not dealing with this coming into my property the problem and I think that's why Luther built it again is that you got to have somewhere. The Town is doing things if you look at the money spent the last couple of years in stormwater management it's very evident to see they are trying to find ways to divert and slow down the whole process to slow the water down which is why Lake is so good because it's it allows it to filter the water runs through the dirt. So it really like cofferdam really doesn't do anything with getting another collection area but we water and frankly when it gets hundred year floods. You don't get any way it's moving so fast. It really doesn't have a whole lot of chances. But that's pretty rare.

Pete Gherini 1:04:46

Shane is Doug on

Shane Fox 1:04:49

He is, Doug, do you mind weighing in your thoughts on recent activity from the Town's perspective and what we could do potentially going forward.

Doug Chapman 1:04:57

Yes, the purpose of putting the cofferdam is catching sediment before it spreads out into larger body of water. Because it's much harder and much more expensive to capture in that area. Trying to remember all of Pete's questions, I would say that you're never going to stop sediment in the stream. It just, you can't stop it even with enhanced erosion control and good ground cover and good management within Town. There will always be mud in the rivers to some degree. So even if we had everything covered, this cofferdam will fill, again over and over whether that happens every % years or every 20 years, it's hard to tell, but it's going to happen repeatedly.

Kent Tarbutton 1:05:53

I have cleaned it, this will be the third time, 25 years, I would say it would have been longer but we really got a huge amount of it when the road was being built, that caused the erosion everywhere.

Doug Chapman 1:06:06

And yeah, I would say the highway construction through there has had more impact on sediment matter. Than any anything else obviously any other point activity.

Shane Fox 1:06:21

Doug are catch baskets, like we talked about in the upper ponds of Broyhill Is that an option in this area that can be taken out emptied and put back in

Doug Chapman 1:06:34

The catch basin is pretty large. So it's probably impractical, the small devices in that area using cofferdams probably the most efficient way to do almost on this scale. Because he as he has pointed out I remember the 86% that that sort of area. But that area drains all the way up all across the country club, it drains Main Street for Main Street East, all the way over to Green Hill Road and basically from the dam on the lake all the way up to where 321 turns where Main Street comes out over the intersection. So all that area drains into there so it's probably too large an area to do something different there.

Kent Tarbutton 1:07:31

To try and make it equitable and David I would answer you again, all of us homeowners on this case. That's why I would add to building houses to consider adding something to the building permit so we get this taken care of. I think it's everybody's responsibility and the Town is everybody. Lots of Town's have that, they have a stormwater management fee because they realize it's got to be paid for somewhere.

Doug Matheson 1:07:59

I would like to ask Allen a question. Allen, looking at it can you see any legal liability that the Town has there

Allen Moseley 1:08:21

I assume that you're talking about the agreement that was entered into in 2014. Okay, so Kent alluded to the 2014 agreement, David's alluded to it. And, and we, as David stated and Kent agreed this really had two components to it. One component related to the volume of raw water that had been transferred from Chetola lake to the Town reservoir that was an excess of 90 or excuse me 93 million gallons, the \$200,000 was stated in the agreement to be a one time payment for the water that had been had been provided by Chetola. And then the other component of this is the stormwater runoff. And I think we've the town at the time recognized that the town has not always had a comprehensive stormwater management ordinance and the town, felt some responsibility doesn't relate to just town property. David it relates to every project in town. And as stated in that study 84% of that stormwater runoff finds its way or did that time find its way into Chetola lake. So the underlying feeling at the time was that the town felt in some way responsible for helping out because Chetola was absorbing all of that. Now is that the legal obligation when this when this document was done in 2014, we, we talked about the last paragraph says this easement agreement shall continue and remain in effect until such time as an alternative raw water source and related capacity as identified by the Town of Blowing Rock, or Chetola Lake reaches an average depth of three feet, it needs to be dredged again, to manage its emergency raw water capacity. So what we contemplated was, we might be back here someday talking about this.

If if the need was still there, for the raw water capacity for the benefit of the town. As to the stormwater runoff component in the in the cost, Chetola is going to have to incur and do the to do this work associated with the request. And I Is that a legal obligation? I don't I don't think that I mean, this, this agreement didn't provide that that was a legal obligation as to whether we still need that raw water supply from Chetola in light of things that have occurred since 2014. Maybe we don't. But does that negate the notion that the town should help Chetola out with respect to the stormwater management? That's up to you? Does that answer your question?

Doug Matheson 1:12:15

Yeah, I was just curious to see if we were legally obligated there. I was reading that paragraph.

Allen Moseley 1:12:22

Kent is that a fair summary?

Kent Tarbutton 1:12:26

I think it is. Yeah, I believe it is. Yeah, we we agree that who knows what the future holds, and she may come back again. And at that point, you lose the water supply, you lose the line, whatever happens in the world. We want to be able to re-resurrected as needed. And that is when I said 3 feet, we will need to re-dig.

David Harwood 1:12:58

I have one more question, I want to make sure that I understand what Chetola lake is I understand it's an amenity for the resort and the homeowners there. Beyond that, and it serves as a stormwater management solution for Chetola. Beyond that, what purpose does it serve?

Kent Tarbutton 1:14:05

Explained a few purposes, but audio was not good quality to get clear enough to transcribe.

Albert Yount 1:16:15

Well record will show that I was in favor of this two years ago, and probably remained the same way. But after all this happened two years ago, we couldn't really make a decision here. Think you weren't here David, Doug was is that about right? And I started thinking you know, there's something big contributing to this. It's not just people's yards and new construction as we're here because silt fences help with new constructed. And a place was discovered on the property of United Community Bank. It was feeder Creek into the New River. And it was a real problem. Correct Mr. Manager.

Shane Fox 1:17:05

Yes sir.

Albert Yount 1:17:08

And you got our Engineer and Matt Blackburn. And I believe didn't some stormwater people have to get involved in all this?

Shane Fox 1:17:21

So we visited the site numerous times I think over the years, we've had a number of storms that have caused erosion issues on both pieces of property there. So the former Papa Joe's restaurant property, and then the Bank. Even beyond that, as you go west to the back towards the storage buildings. New River Conservancy visit the site. I know, McGill has been at the site, as well as you know, others throughout the years and most recently, the Bank I think alleviated that issue. Essentially re-routed a section of the creek provided some storm water assistance there with truing up the bank, adding to riprap and things of that nature to that. So that's all been in the last 12 months, that process has taken place.

Albert Yount 1:18:09

Well FYI, the Bank is not adverse to their name being used as paid for this.

Shane Fox 1:18:17

Correct, the Town did not pay for that the Bank did.

Albert Yount 1:18:18

They did not know the figures to be used but I can say it's just short of six figures that they paid to help with a big problem. That was a lot of silt coming down through there during storms. And so my point is, mitigation has in my opinion, and maybe in Towns Engineer eliminated quite a bit of the percent of what's going on in the cofferdam in the future, hopefully. To me that that's the way the Town should be looking at this as to what we do right now will be the question for the five of us. But that problem was fixed with no cost to the Town.

Charlie Sellers 1:19:14

Pete, Doug, Melissa, David, Albert. Okay. If I may. Council, I just want to say early on that Chetola is a strong contributor to our community. You drive in North Main, and there's a beautiful lake growing up here that like was there. I think it's, I can't speak for you, Council. But as a citizen, I feel like that it's my job as a citizen to support other citizens. And Chetola is an icon in our community. Just like every other business in our community. And so we must, I think we should keep that in mind. That's all I was gonna say. Do we have a motion or a suggestion? Or

Doug Matheson 1:20:22

I'll throw something out there for discussion, I'll make a motion we give them, we meet them at 50% of the what they're asking for \$10,000.

Charlie Sellers 1:20:34

So you make a motion Doug for \$10,000. Okay

Melissa Pickett 1:20:42

I would second that.

Charlie Sellers 1:20:43

We have a second

Doug Matheson 1:20:43

Now that's just open for discussion.

Charlie Sellers 1:20:47

Any discussion on the motion? No discussion on the motion.

Albert Yount 1:20:56

I feel that we should remit what they asked for now but I want Doug to explain his motion a little more in depth.

Doug Matheson 1:21:14

I just brought that number out as meeting them a little more than halfway with what they were asking. I know he's furnishing his equipment. So I think he and Greg were asking \$19,000 and something. So I felt like that we would meet them half way. And like I said, that was just to put a motion out there to get it started.

Shane Fox 1:21:41

I would also encourage us if we do the ten, to work with the Town staff, with the Chetola staff and the New River Conservancy and to start working on that section of the river in Town, which Shane and I have a meeting, hopefully in the next week or two, when New River Conservancy to start working on river rebuilding and to help with situations like this to for a long term, solution.

Albert Yount 1:22:15

Well, both those comments are reasonable to me.

Charlie Sellers 1:22:20

Okay, we have a motion on the table. David? Comments.

David Harwood 1:22:24

Well, I would ask if if Twigs comes in once they're like dredged, or the Country Club comes and wants any number of their lakes dredge it all served by the same stream. Are we going to pay them \$10,000 Each out of some obligation that we feel?

Shane Fox 1:22:52

I think everything has to be on a case to case scenario. I mean, at this point, they do have the study that show that they are taking on. I don't want I will be honest, I don't want this to be a reoccurring thing. That's why I want us to work on long term solutions. I mean, they did the \$200,000 in 2014, which has been somebody helped me find that eight years. And I mean, you know, we're doing this form the cofferdam. This is a different section, which was dredged last time. I completely understand your side of it, too. I mean, I've thought about through this, you know, in the same section, one of Meadowbrook comes down and says they want their lake dredged, or you know, dug out, because it's in the same section. But I mean, this is another one of those situations where, you know, we have to be team players in town, but I do believe that we can be a team player, but we do need to seriously concentrate on the long term solution in this.

David Harwood 1:23:58

Well, I don't know that we do. Because this lake is an unnatural body of water it did not exist before, I believe the Snyder's built it. It is there purely for pleasure. At one time, the lake supply to ice for the town. I believe it may have had power generation for the Snyder house. But it doesn't serve any of those purposes now. And they were some say that, that the dam needs to go away and restore the natural stream. So I feel like the town is perpetuating a private amenity for the resort. And this feels like a sweetheart deal to me and I don't know where you draw that line. I am not arguing that the Tarbuttons and Chetola have been nothing but fantastic citizens. And I appreciate that, as does every citizen of this town. But I also think there was a \$200,000 payment made by this town in appreciation for that. So I'm, I don't see the point of this other than just because you feel like it

Doug Matheson 1:25:38

I'll answer your question in a minute to go on, for me is that agreement was 2014. Since then, there have been quite a bit feed into there. But I'm not wanting this as a recurring payment either. I'm offering this as meeting them half way of what they had asked for. Mainly because this is to me the end of the line right there for everything, it comes through Blowing Rock, because after that the city limits end pretty much you don't have a whole lot of stream left that is in the city limits. I don't want this to come to us really again. So what I would like for it to be you know, it's a one time payment to help with what has built from 2014, until now. And then Mr. Tarbutton either works with someone or works with the Town at finding another solution for this going forward.

Albert Yount 1:26:50

But that would actually be left to a new board.

Pete Gherini 1:26:59

I'll support Doug's motion as long as there's an ongoing end solving situation that either Doug or Greg or people can get together and provide some long term solutions.

Charlie Sellers 1:27:17

If I may say, I know it has been brought up stormwater studies and so on and so forth. That should be something that would be focused on in the next couple of years. And there are other communities do have stormwater fees. And that may be something that the Council will address at the time. I don't know. But yeah, I think Melissa has a good point where, you know, we need to be proactive and not reactive right now. We're being reactive, and be proactive and try to fix the issue. So that's my take on it

Albert Yount 1:27:53

Well, you know, United Community Bank stepping up and paying for something is a big start. That's right. I agree with you, Pete. But I can't agree, we can't dictate to another board that might sit here and here the five years down the road. I don't think.

Charlie Sellers 1:28:18

Any further discussion? We have a motion and we have a second on the table.

Albert Yount 1:28:23

The motion is

Charlie Sellers 1:28:25

To approve \$10,000 to go towards the dredging of the cofferdam to Chetola Lake.

David Harwood 1:28:34

Is it half or \$10,000?

Doug Matheson 1:28:45

I rounded it off.

Charlie Sellers 1:28:48

So you're saying \$10,000 that is your motion? Okay.

Albert Yount 1:28:54

Yes

David Harwood 1:28:59

No

Melissa Pickett 1:29:00

Yes

Doug Matheson 1:29:02

Yes

Pete Gherini 1:29:03

Yes

Charlie Sellers 1:29:05

Motion passes. Thank you

Kent Tarbutton 1:29:08

Thank you for your consideration and your time. I appreciate it. Let me say lastly that we very much would like to work with the town on any solution and Doug you know, very happy to be with you anytime you want. We can find a way to convert better.

Charlie Sellers 1:29:27

Thank you Kent have a good evening. All right. Moving right along. I have only one comment. I think it's unfortunate we are losing Wells Fargo Bank, I have had a number have numerous calls on it. And so it's very unfortunate. We're losing an anchor business like that in our Town. And that's that's all I have.

Albert Yount 1:29:59

Well it's news to me, I hope I don't get out there before I get my rewards credit card. Great meeting tonight, welcome Pete glad to have you.

Pete Gherini 1:30:20

Thank you, Albert.

Albert Yount 1:30:22

It was a good meeting. That's some deference to some former meetings. That's all I am gonna say.

David Harwood 1:30:35

Yes, I want to say welcome to Pete as well, I'm glad you're back, I'm glad you're both back. It's nice to have five council members up here. It really is. The only thing I would say. And my guess is it's going to be echoed down the line is cutos to the public works, I'm not trying to steal your thunder Doug, I know you are going to say that, as I know Shane is gonna say is that thank you so much for the snow removal. Just a Herculean effort. I texted Shane at one point during the storm and said I have had a truck go down in front of my house, once every hour. And that's just, that's just me and it just amazing. And I can't say enough to all those guys. And all the volunteer guys that stepped in to help from the fire department and other sources I imagine so those are my comments.

Melissa Pickett 1:31:49

I agree. It's great to have Pete home. And the other half, we are happy y'all are back. I missed my running partner. I do have some good news as my last act as BRAAC seat. We got approved to be Tree City USA again this year. I got the email two days ago. So to do that, again. Need to make sure Jennifer plans our Arbor Day celebration Shane. Kudos to public works. You obviously don't live on Green Hill, we don't get hourly service, but that's okay. We do get out

Doug Matheson 1:32:37

I would say it's good to have the Ms. back. Also echo what David said about the staff, great job, fire department, Parks and Rec and everybody can contribute during the storm that we had on top of each other. In your handout tonight, that Shane gave you it's a thing, legislative goal achievements. These are some of the things that we achieved this year at the League. From our goals, some of them or even when Ms. Sweeting was here when she sat on one of the boards down there and helped narrow it down. But these are some of the achievements that the league was able to do for municipalities this year. Look them over to see that we are we are trying in the League.

Pete Gherini 1:33:34

Thank you and thank you for all your nice comments. I ran for Town Council to represent all the residents and property owners in Blowing Rock which I will do. I ran for Town Council to help the Mayor and my fellow Council people get things done, which I will do. I ran for Town Council to help the Town Manager do his job, which I will do. And as a close. I'd like to thank my campaign team who worked long and hard with volunteers to put me here. So and then also thank you to my wife who put up with me.

Doug Matheson 1:34:18

She's just beginning to put up with you.

Charlie Sellers 1:34:25

Thank you, Pete and welcome home. Mr. Fox,

Shane Fox 1:34:32

Certainly Mayor and Council, few updates on some projects I would like to give tonight along with a few other things. So we did cancel the Bass Lake ribbon cutting scheduled for last month. We're planning to do that on March 8 date at this point, so I'm assuming at 4:30, maybe 5:00, but we'll get that confirmed. So that's coming up a month from now. The crosswalks had a meeting today or discussion today about a meeting next week. To begin the crosswalk project, luckily, all the materials should arrive by February the 15th. So that's just a week from today, which is great news. Those were a little delayed in getting here, like most things are on our supply chain management issues. But all the material should be here next week, along with a pre construction meeting with McGill and Greens Construction, which is the contractor that won the bid. And the boring work should begin, perhaps the following week. So you'll start seeing work on the crosswalks. I believe, tomorrow or Thursday, you'll see the underground utilities and lines marked, starting prepping that work for the for the boring, and that will begin the week of the 24th. I guess what that is in February. So you'll start seeing some activity out there, which is good news. So the crosswalks, again, have a project date end date of May 1. So that's a fairly short project that will be very important project to have. Next week is our annual retreat. We didn't move that as well from January so February 14 15th and 16th that's at the American Legion is open to the public will also televise it as well live and then we'll record it on the YouTube channel for anyone to go back and watch. If you wanted to catch up on 24 to 25 or so hours worth of retreat discussion. Laurel Lane trees. If you remember back in the end of December, we noticed a heading citizen point that out who's here in the audience today that we had a tree issue on our lane two pine trees that need to be removed large pine trees that are scheduled to be removed starting Monday morning at 7am. That work should take about six hours or so. So we'll have one lane of Laurel Lane closed Monday morning starting at seven until early afternoon. We'll put that on Facebook page later this week on the website. And also we'll have on Friday and Sunday, our hyper reach alerts go out to citizens especially Mayview to let them know that one lane will be closed Monday for that our E newsletter is set to go out this Friday the 11th. So it'll be the first time that the town has put out the e newsletter electronic newsletter. So previously, and we will continue to do the water bill newsletter, the bi-monthly newsletter. But this will be a every other week newsletter that we plan on putting out on Fridays to keep everyone informed on what's going on in the town. And there'll be some lead sections about employees and awards and things of that nature to share. So that will be coming out this Friday. If you have not signed up, you can sign up through calling town hall or we have links on our website as well. Or just stop by and we'll get you signed up for that newsletter. Also wanted to echo the snow removal. Of course had a couple of numbers here to share. We push know, starting on the 16th of January for 72. out of 73 hours, someone was pushing snow in town so I'm not sure what happened in that one hour if they slept or, or what. But we did have a total of 7 volunteers including the Fire Chief and Assistant Fire Chief and others from the Fire Department that participated, especially in our Main Street and Sunset Drive cleanup, I will go a little different and thank our full time mechanic, Steve Norris, which does not get a lot of thanks. But several years ago, this Council made the decision to have a full time mechanic that comes into play more times than you would realize especially when you're pushing snow for 72 out of

73 hours. There were rear ends and trucks that were completely taken out and replaced during this timeframe to keep the plows on the road. Also like to have a special thanks to our landscape department that volunteer to give up their one large truck that they have to become a plow truck when we had another plow truck involved in incident. I say this to say it is a full team effort like it always is. Everyone showed up to do the job that they needed to do during this time to keep the roads clear. And I appreciate that in the midst of COVID and everything else that we've been dealing with. We continue to always amaze me at the amount of work and teamwork that we put in. So very thankful for that work. That was shown during that storm and I'm sure no doubt it'll be shown again if we have another incident. Same type of response. That's my thing.

Charlie Sellers 1:39:39

Thank you Mr. Fox. Alright, ladies and gentlemen we're going to be going into close session and thank you for attending this evening. I know everyone looks forward to spring and is tired of the cold, so we look forward to that. The closed session and no decisions will probably be made after that closed session.

Albert Yount 1:40:07

Motion to go into closed session under NCGS 143-318.11.(a)(3) Attorney/Client update litigation, seconded by Council Member Harwood. Unanimously approved.

ADJOURNMENT

At 8:45 p.m. Council returned to open session. There being no further business, Council Member Pickett made a motion to adjourn, seconded by Council Member Matheson. Unanimously approved.

MAYOR _____

ATTEST _____

Charlie Sellers

Hilari Hubner, Town Clerk

ATTACHMENTS:

Tax Release #2021-02 – Attachment A

Tax Refund #2021-02 – Attachment B

Budget Amendment - #2022-03 – Attachment C

Dr. Davis Resolution – Attachment D

Draft
Town of Blowing Rock
Town Council 2022 Annual Retreat
February 14, 15 and 16, 2022

The Town of Blowing Rock Town Council met for their annual retreat on Monday, February 14, 2022, at 8:30 a.m. at the American Legion, Blowing Rock, North Carolina. Present were Mayor Charlie Sellers, Mayor Pro-Tem Doug Matheson, Council Members Albert Yount, David Harwood, Melissa Pickett and Pete Gherini. Also present were Town Manager Shane Fox, Parks and Recreation Director Jennifer Brown, Public Works and Utilities Director Matt Blackburn, Planning Director Kevin Rothrock, Police Chief Aaron Miller, Fire Chief Kent Graham, Finance Officer Nicole Norman, Town Engineer Doug Chapman, Town Clerk Hilari Hubner, who recorded the minutes.

CALL TO ORDER

Mayor Sellers called the meeting to order at 8:30 a.m. on Monday, February 14th and welcomed everyone. Mayor Pro-Tem Matheson made a motion to open the meeting, seconded by Council Member Harwood. Unanimously approved.

Monday Items Discussed:

- Review of the Past Year Retreat Topics and Accomplishments
- 2021-2022 Mid-Year Financial Update
- Debt and Bond Update
- Fund Balance Update
- 2022 vs. 2012 vs. 2002 – The Next 20 Years

The meeting recessed from 12:00 p.m. until 1:00 p.m. for lunch.

- 2022 Board Appointments
- Watauga County Property Tax Revaluation
- EMS Discussion
- Solar Sustainability
- Underground Utilities

At 5:30 p.m. Council recessed for the evening.

On Tuesday, February 15, 2022, at 8:30 a.m. at the meeting reconvened. Present were Mayor Charlie Sellers, Mayor Pro-Tem Doug Matheson, Council Members Albert Yount, David Harwood, Melissa Pickett and Pete Gherini. Also present were Town Manager Shane Fox, Parks and Recreation Director Jennifer Brown, Public Works and Utilities Director Matt Blackburn, Planning Director Kevin Rothrock, Police Chief Aaron Miller and Finance Officer Nicole Norman, Town Engineer Doug Chapman, Town Clerk Hilari Hubner, who recorded the minutes.

Tuesday Items Discussed:

- Blowing Rock TDA
- Parking Inventory
- Paid Parking
- Enforcement
- Satellite Parking
- Shuttle Options

The meeting recessed from 12:00 p.m. until 1:00 p.m. for lunch.

- Parks and Rec Committee – Strategic Plan
- Parks and Rec Committee – Next steps
- 10 Year Capital Planning – Streets
- 10 Year Capital Planning – Water and Sewer – Plants and Lines
- 10 Year Capital Planning – Town Buildings
- 10 Year Capital Planning – Water Meters

At 5:30 p.m. Council recessed for the evening.

On Wednesday, February 16, 2022, at 8:30 a.m., the meeting was reconvened. Present were Mayor Charlie Sellers, Mayor Pro-Tem Doug Matheson, Council Members Albert Yount, David Harwood, Melissa Pickett and Pete Gherini. Also present were Town Manager Shane Fox, Parks and Recreation Director Jennifer Brown, Public Works and Utilities Director Matt Blackburn, Planning Director Kevin Rothrock, Police Chief Aaron Miller and Finance Officer Nicole Norman, Town Engineer Doug Chapman, Town Clerk Hilari Hubner, who recorded the minutes.

Wednesday Items Discussed:

- Traffic and Pedestrian Safety – 321 Traffic Issues Update
- Governors Highway Safety Grant
- Downtown Planning and Zoning – Overlay District
- Outdoor Restaurant Seating
- 2024 Comprehensive Plan Update
- Town Council Update on Procedures and Policies

The meeting recessed from 12:00 p.m. until 1:00 p.m. for lunch.

- Stakeholders Presentations – Village Foundation
- Stakeholders Presentations-BRCA
- Stakeholders Presentations – Historical Society – 1888 and Edgewood
- Council, Manager and staffed worked on developing a priority summary of items in which they wish to accomplish in the next year and beyond.

EXECUTIVE SESSION

NONE

ADJOURN

At 4:00 p.m. with no further business to discuss Mayor Pro-Tem Matheson made a motion to adjourn, seconded by Council Member Harwood. Unanimously approved.

MAYOR _____ **ATTEST** _____

Charlie Sellers, Mayor

Hilari Hubner, Town Clerk



To: Shane Fox, Mayor Sellers, and Members of Town Council
From: Nicole Norman, Finance Officer
Subject: Budget Amendment Ordinance to Account for Various Items
(Ordinance #2022-04)
Date: March 8, 2022

Enclosed please find a Budget Amendment Ordinance for the fiscal year 2021-2022 for your consideration.

Section 1 (General Fund) appropriates insurance proceeds (\$23,732) associated with a totaled Public Works snowplow vehicle towards their capital outlay line item towards the purchase of a tractor (paired with other planned vehicle replacement funds existing in the budget).

Section 2 (General Capital Projects Fund) this line item allocates additional funding towards the Bass Lake sidewalk project for final construction and engineering cost to complete the project (combined \$94,220). Finally, this section will allocate loan proceeds (\$444,790) towards the NCDOT property purchase on Valley Blvd. with the loan closing approaching in the coming weeks.

Please let me know if you need further details on the proposed amendment.

**2021-2022
Budget Amendment Ordinance 2022-03**

Be it ordained by the Town Council of the Town of Blowing Rock, North Carolina, that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2022:

Section 1. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-20-4500-500	Capital Outlay- Street Department	\$ 239,240	\$ - \$ -	\$ 23,732 \$ 23,732	\$ 262,972

This will result in a net increase of \$23,732. in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-335	Miscellaneous Revenue	\$ 36,942	\$ - \$ -	\$ 23,732 \$ 23,732	\$ 60,674

Section 2. To amend the General Capital Projects Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
20-20-5000-419	Sidewalk to Bass Lake-Engineering Contruction	\$ -	\$ -	\$ 6,310	\$ 6,310
20-20-5000-421	Sidewalk to Bass Lake AdditionalCOnstruction Cost	\$ -	\$ -	\$ 87,910	
20-60-5000-502	NCDOT Hwy 321 Property Purchase Expense	\$ -	\$ -	\$ 444,790 \$ 539,010	\$ 444,790

This will result in a net increase of \$539,010 in the appropriations of the General Capital Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
20-20-3400-102	GO Bond Premium 2020 Issue (Transportation)	\$ 73,106	\$ -	\$ 94,220	\$ 167,326
20-60-3400-502	NCDOT Hwy. 321 Property Purchase Loan Funds- UCB	\$ -	\$ -	\$ 444,790 \$ 539,010	\$ 444,790

Section 3. Copies of this budget amendment shall be furnished to the Clerk to the Town Council and to the Finance Officer for their implementation.

Adopted this 8th day of March, 2022.

Attested by:

Charles Sellers, Mayor

Hilari Hubner, Town Clerk

Staff Report –Consent Agenda Item

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Shane Fox, Town Manager

Subject: PARTF Contract - McGill

Date: March 8, 2022

Information: After a year of hard and diligent work by the Park and Recreation Committee, on Friday January 14, 2022, the Town of Blowing Rock was notified that it was the recipient of a \$500,000 PARTF grant. The overall PARTF project is estimated to cost \$1,285,000 funded by the PARTF grant, remaining funding in Phase 4 of the 2014 Bond, and a combination of TDA and ABC monies. As a part of the PARTF project requirements, McGill Associates, P.A. has submitted their contract that includes the design, bidding and construction oversight for the project.

Attachments: McGill Contract – PARTF Project

AGREEMENT FOR ENGINEERING SERVICES

This AGREEMENT, made and entered into this the _____ day of _____ 2022, by and between the **Town of Blowing Rock** (OWNER) and **McGill Associates, P.A.** (ENGINEER).

WHEREAS, the OWNER proposes to do certain work toward the accomplishment of the Project entitled **Memorial Park Improvements** as generally described in Attachment "A" and

WHEREAS, the ENGINEER desires to render professional services in accordance with this Agreement.

NOW, THEREFORE, in consideration of the mutual covenants and benefits contained herein, it is hereby mutually understood and agreed as follows:

SECTION 1 - GENERAL SERVICES

The ENGINEER shall:

- 1.1. The ENGINEER shall, as directed by the OWNER, provide professional engineering services for the OWNER of the Project; serve as OWNER's professional engineering representative for the Project; and provide professional consultation and advice to OWNER during the performance of the services hereunder.
- 1.2. The ENGINEER shall provide all personnel required in performing the Project unless otherwise provided herein. Such personnel shall not be employees of or have any contractual relationship with the OWNER. All services rendered hereunder shall be performed by the ENGINEER or under his supervision and all personnel engaged in the Project shall be fully qualified under North Carolina law to perform such services.
- 1.3. The ENGINEER shall obtain and furnish, or cause to be obtained and furnished, approvals and permits from all governmental authorities having jurisdiction over the Project, unless otherwise agreed to herein.
- 1.4. The ENGINEER shall seek and obtain authorization from the OWNER or the OWNER's assignee before proceeding with the Project, or before performing any Additional Services as described in Section 3, or before performing any other services which would not be included in the fee for Basic Services set forth in Section 6 hereof, subject to OWNER's right to terminate as herein provided.
- 1.5. The ENGINEER shall comply with all existing federal, state and local laws and regulations regarding equal employment opportunity. The ENGINEER is further obligated to include all requirements hereunder in any subcontract written by him in association with this Agreement.

SECTION 2 - BASIC SERVICES

2.1 DESIGN AND PERMITTING PHASE

- 2.1.1 Meet with the OWNER for the purpose of establishing communication lines, meet project team members, define project schedules, and gather initial data.
- 2.1.2 Complete an initial site investigation with the design team to review base survey information, existing site features, etc.
- 2.1.3 Perform field surveying to locate planimetric and topographic features, property boundary, and location of utilities. Survey of the project area tied to NAD83(2011) and NAVD88 (GEOID12B) for field and aerial mapping efforts.
- 2.1.4 Prepare Schematic Design Documents for the elements identified in the scope of work outlined in Attachment "A".
- 2.1.5 Review Schematic Design Documents with the OWNER.
- 2.1.6 Address comments from the OWNER and prepare Design Development Documents, including grading, drainage, erosion control, landscaping, architectural, and engineering drawings.
- 2.1.7 Prepare complete bid documents, contract documents, technical specifications, and construction drawings to detail the character and scope of the work.
- 2.1.8 Review design documents with the OWNER for comments and approval prior to bidding.
- 2.1.9 Submit design documents to the appropriate agencies for review and permitting. Address any comments received.
- 2.1.10 Perform an internal quality control and constructability review of the project.

2.2 BIDDING AND AWARD PHASE

- 2.2.1 Assist the OWNER in advertising, receiving, opening and evaluating bids.
- 2.2.2 Consult with and advise the OWNER as to the acceptability of contractors and subcontractors and make recommendations as to the lowest, responsive, responsible bidder.
- 2.2.3 Assist the OWNER in the final preparation and execution of construction contracts and in checking Performance and Payment Bonds and Insurance Certificates for compliance.
- 2.2.4 Schedule a Pre-Construction Conference with the OWNER, Contractor, ENGINEER and all other applicable parties to assure discussion of all matters related to the Project. Prepare and distribute minutes of the Pre-Construction Conference to all parties.

2.3 CONSTRUCTION PHASE

Upon successful completion of the Bidding and Award Phase, and upon written authorization from OWNER, ENGINEER shall:

- 2.3.1 Provide General Administration of Construction Contract. Consult with OWNER and act as OWNER's representative as provided in the General Conditions. The extent and limitations of the duties, responsibilities, and authority of ENGINEER as assigned in the General Conditions shall not be modified, except as ENGINEER may otherwise agree in writing. All of OWNER's instructions to Contractor will be issued through ENGINEER, which shall have authority to act on behalf of OWNER in dealings with Contractor to the extent provided in this Agreement and the General Conditions except as otherwise provided in writing. ENGINEER shall not be responsible for the acts or omissions of any Contractor, or of any subcontractors, suppliers, or other individuals or entities performing or furnishing any of the Work. ENGINEER shall not be responsible for the failure of any Contractor to perform or furnish the Work in accordance with the Contract Documents.
- 2.3.2 Provide a Construction Field Representative (CFR) to periodically observe the progress and quality of the executed work – assuming a ten (10) month contract time –and to determine in general if the work is proceeding in accordance with the Contract Documents. During such visits and on the basis of on-site observations as an experienced and qualified design professional, keep the OWNER informed of the progress of the work, endeavor to guard the OWNER against defects and deficiencies in the work of the Contractor. Additional CFR time or construction services will involve an increase in the payments to the ENGINEER as Additional Services under Section 3 of this Agreement.
- 2.3.3 The purpose of ENGINEER's visits and the representation by the Construction Field Representative, (CFR) at the Site, will be to enable ENGINEER to better carry out the duties and responsibilities assigned to and undertaken by ENGINEER during the Construction Phase, and, in addition, by the exercise of ENGINEER's efforts as an experienced and qualified design professional, to provide for OWNER a greater degree of confidence that the completed Work will conform in general to the Contract Documents and that Contractor has implemented and maintained the integrity of the design concept of the completed Project as a functioning whole as indicated in the Contract Documents. ENGINEER shall not, during such visits or as a result of such observations of Contractor's Work in progress, supervise, direct, or have control over Contractor's Work, nor shall ENGINEER have authority over or responsibility for the means, methods, techniques, sequences, or procedures of construction selected or used by Contractor, for security or safety on the Site, for safety precautions and programs incident to Contractor's Work, nor for any failure of Contractor to comply with Laws and Regulations applicable to Contractor's furnishing and performing the Work. Accordingly, ENGINEER neither guarantees the performance of any Contractor nor assumes responsibility for any Contractor's failure to furnish and perform the Work in accordance with the Contract Documents. However, ENGINEER shall give prompt notice to the OWNER whenever ENGINEER observes or otherwise becomes aware of any defect in the

Project or of any material deviation of Contractor's work from the Contract Documents.

- 2.3.4 Review and determine the acceptability of any schedules that Contractor is required to submit to ENGINEER, including Progress Schedule, Schedule of Submittals and Schedule of Values.
- 2.3.5 Based on ENGINEER's observations as an experienced and qualified design professional and on review of Applications for Payment and accompanying supporting documentation:
 - a. Determine the amounts that ENGINEER recommends Contractor be paid. Such recommendations of payment will be in writing and will constitute ENGINEER's representation to OWNER, based on such observations and review, that, to the best of ENGINEER's knowledge, information and belief, Contractor's Work has progressed to the point indicated, the quality of such Work is generally in accordance with the Contract Documents (subject to an evaluation of the Work as a functioning whole prior to or upon Substantial Completion, to the results of any subsequent tests called for in the Contract Documents, and to any other qualifications stated in the recommendation), and the conditions precedent to Contractor's being entitled to such payment appear to have been fulfilled in so far as it is ENGINEER's responsibility to observe Contractor's Work. In the case of unit price work, ENGINEER's recommendations of payment will include final determinations of quantities and classifications of Contractor's Work (subject to any subsequent adjustments allowed by the Contract Documents).
 - b. By recommending any payment, ENGINEER shall not thereby be deemed to have represented that observations made by ENGINEER to check the quality or quantity of Contractor's Work as it is performed and furnished have been exhaustive, extended to every aspect of Contractor's Work in progress, or involved detailed inspections of the Work beyond the responsibilities specifically assigned to ENGINEER in this Agreement and the Contract Documents. Neither ENGINEER's review of Contractor's Work for the purposes of recommending payments nor ENGINEER's recommendation of any payment including final payment will impose on ENGINEER responsibility to supervise, direct, or control Contractor's Work in progress or for the means, methods, techniques, sequences, or procedures of construction or safety precautions or programs incident thereto, or Contractor's compliance with Laws and Regulations applicable to Contractor's furnishing and performing the Work. It will also not impose responsibility on ENGINEER to make any examination to ascertain how or for what purposes Contractor has used the moneys paid on account of the Contract Price, or to determine that title to any portion of the Work in progress, materials, or equipment has passed to OWNER free and clear of any liens, claims, security interests, or encumbrances, or that there may not be other matters at issue between OWNER and Contractor that might affect the amount that should be paid.

- 2.3.6 Assist the OWNER in the selection and coordination of an independent geotechnical and materials testing laboratory, if required, to be provided at the OWNER's expense.
- 2.3.7 Review and take action in respect to Shop Drawings and Samples and other data which Contractor is required to submit, but only for conformance with the information given in the Contract Documents and compatibility with the design concept of the completed Project as a functioning whole as indicated by the Contract Documents. Such reviews and any approvals or other action will not extend to means, methods, techniques, sequences, or procedures of construction or to safety precautions and programs incident thereto. Review of Shop Drawings and Samples identified as frivolous in the General Conditions of the construction contract documents, or review of substitute materials as defined in the same, shall be deemed as Additional Services.
- 2.3.8 Issue instructions to the Contractor from the OWNER as to interpretations and clarifications to the project design plans, specifications and contract documents.
- 2.3.9 Render formal written decisions on all duly submitted issues relating to the acceptability of Contractor's work or the interpretation of the requirements of the Contract Documents pertaining to the execution, performance, or progress of Contractor's Work; review each duly submitted Claim by OWNER or Contractor, and in writing either deny such Claim in whole or in part, approve such Claim, or decline to resolve such Claim if ENGINEER in its discretion concludes that to do so would be inappropriate. In rendering such decisions, ENGINEER shall be fair and not show partiality to OWNER or Contractor and shall not be liable in connection with any decision rendered in good faith in such capacity.
- 2.3.10 Prepare information required to resolve problems due to actual field conditions and to respond to Requests for Information (RFI) from the Contractor.
- 2.3.11 Recommend to OWNER that Contractor's Work be rejected while it is in progress if, on the basis of ENGINEER's observations, ENGINEER believes that such Work will not produce a completed Project that conforms generally to the Contract Documents or that it will threaten the integrity of the design concept of the completed Project as a functioning whole as indicated in the Contract Documents.
- 2.3.12 Recommend Change Orders and Work Change Directives to Owner, as appropriate, and prepare Change Orders and Work Change Directives as required.
- 2.3.13 Review the Contractor's final application for payment and make recommendation as to approval once all issues with the project final observation site visit have been completed and resolved.
- 2.3.14 Promptly after notice that Contractor considers the entire Work ready for its intended use, in company with OWNER and Contractor, conduct a pre-final observation site visit to determine if the Work is substantially complete. If after considering any objections of OWNER, ENGINEER considers the Work substantially complete, ENGINEER shall deliver a certificate of Substantial Completion to OWNER, Infrastructure Finance Services, and Contractor.

- 2.3.15 In company with OWNER's representatives, conduct a final observation site visit to determine if the Project has been completed in accordance with the Contract Documents and if the Contractor has fulfilled all of his obligations thereunder so that the ENGINEER may approve to the OWNER final payment to the Contractor.
- 2.3.16 Provide or make available all Project files and information to effect project closeout.

SECTION 3 - ADDITIONAL SERVICES

If authorized by the OWNER, the ENGINEER will furnish or obtain from others additional services of the following types, which are not considered Basic Services under this Agreement.

- 3.1 Additional services resulting from significant changes in general scope of the Project or its design including, but not limited to, changes in size, complexity, OWNER's schedule, or character of construction. The ENGINEER and OWNER agree that time is of the essence in order to meet funding application deadlines. As such, the OWNER may initiate minor changes in the project scope to be incorporated by the ENGINEER, subsequent to the permit submittals, as not to impede progress toward the funding application deadlines. No work on any such changes shall occur by the ENGINEER unless preapproved by the OWNER. Revising previously approved studies, reports, design documents, drawings or specifications, when such revisions are due to causes beyond the control of the ENGINEER.
- 3.2 Preparing documents for alternate bids requested by the OWNER for work, which is not executed, or documents for out-of-sequence work other than agreed upon in the Planning Phase.
- 3.3 Additional or extended services during construction made necessary by prolongation of the construction contract, award of multiple contracts, or default by the Contractor under any prime construction contract if such construction contract is delayed beyond the original completion date.
- 3.4 Providing geotechnical and subsurface investigations, archeological surveys and any other environmental site surveys necessary for the construction of the project.
- 3.5 Review of Shop Drawings and Samples identified as frivolous in the General Conditions of the construction contract documents, or review of substitute materials as defined in the same General Conditions.
- 3.6 Preparing to serve or serving as a witness for the OWNER in any litigation, condemnation or other legal or administrative proceeding involving the Project.
- 3.7 Additional services in connection with the Project, including services normally furnished by OWNER and services not otherwise included in this Agreement.
- 3.8 Additional services in connection with administering project funding.
- 3.9 Preparing easement maps or plats.
- 3.10 Soliciting bids for elements to be supplied by OWNER.
- 3.11 Preparing structural design of retaining wall and/or certification if required.
- 3.12 Offsite engineering for water supply, utilities, and drainage.
- 3.13 Preparation of recombination plat.
- 3.14 Preparation of transportation studies and/or offsite roadway design.
- 3.15 Preparing structural designs except as noted in Attachment "A".

SECTION 4 - OWNERS RESPONSIBILITIES

The OWNER shall:

- 4.1 Provide full information as to the requirements for the Project.
- 4.2 Assist the ENGINEER by placing at his disposal in a timely manner all available information pertinent to the Project including previous documents and any other data relative to the evaluation, design, and construction of the Project.
- 4.3 Designate a person to act as OWNER's representative with respect to the work to be performed under this Agreement; and such person shall have complete authority to transmit instructions, receive information, interpret and define OWNER's policies and decisions pertinent to the services in this Agreement.
- 4.4 Guarantee access to and make all provisions for the ENGINEER to enter upon public and private property as required for the ENGINEER to perform the services under this Agreement, provided the same does not unreasonably interfere with the operation of the existing facilities.
- 4.5 Examine all studies, reports, sketches, estimates, specifications, drawings, proposals and other documents presented by the ENGINEER and render decisions and comments pertaining thereto within a reasonable time so as not to delay the services of the ENGINEER.
- 4.6 Obtain any right-of-way easements from public bodies, entities or persons necessary for satisfactory construction of the Project.
- 4.7 Obtain any subsurface geotechnical investigations or other types of testing and analysis needed for the Project.
- 4.8 Pay for permit fees, and all costs incidental to advertising for bids, and receiving bids or proposals from licensed Contractors.
- 4.9 Provide such legal, accounting and insurance counseling services as may be required for the Project, and such auditing services as may be required to ascertain how or for what purpose any Contractor will or has used the monies paid to him under the construction contract.
- 4.10 Give prompt notice to the ENGINEER whenever the OWNER observes or otherwise becomes aware of any defect in the Project.
- 4.11 Furnish approvals and permits from all governmental authorities having jurisdiction over the Project and such approvals and consents from others as may be necessary for completion of the Project, subject to the obligations of the ENGINEER outlined in Section 1.3 of this Agreement.
- 4.12 Furnish, or direct the ENGINEER to provide necessary Additional Services as stipulated in Section 3 of this Agreement or other services as required.
- 4.13 Bear all costs incident to compliance with the requirements of this Section 4, except where Contractor will assume responsibility for the same.

SECTION 5 - PERIOD OF SERVICES

- 5.1 Unless this Agreement has been terminated as provided in paragraph 7.1, the ENGINEER will be obligated to render services hereunder for a period, which may reasonably be required for the services described herein. The ENGINEER may decline to render further services hereunder if the OWNER fails to give prompt approval of the various phases as outlined. Upon receiving a written authorization to proceed, the ENGINEER shall provide the OWNER with a written schedule of completion for the services so authorized.
- 5.2 If the Project is delayed significantly for reasons beyond the ENGINEER's control, the various rates of compensation provided for elsewhere in this Agreement shall be subject to renegotiation.

SECTION 6 - PAYMENT TO THE ENGINEER

6.1 PAYMENT FOR BASIC SERVICES

6.1.1 The OWNER agrees to pay the ENGINEER for Basic Services as outlined in Section 2 the following lump sum fees, inclusive of all reimbursable expenditures.

Phase 1

Design Phase Services	\$98,500
Bidding and Award Phase Services	\$5,000
Construction Phase Services	\$60,000
Total Lump Sum Fee	\$163,500

6.2 PAYMENT FOR ADDITIONAL SERVICES

6.2.1 The OWNER will pay the ENGINEER for Additional Services as outlined in Section 3 an amount based on actual time spent and expenses incurred by principals and employees of the ENGINEER assigned to the Project in accordance with the attached ENGINEER's standard rate and fee schedule Attachment "B", which is subject to update on an annual basis.

6.3 TIMES OF PAYMENT

6.3.1 The OWNER will make prompt monthly payments in response to the ENGINEER's monthly statements for services rendered under this Agreement.

6.4 GENERAL

6.4.1 If the OWNER fails to make any payment due the ENGINEER on account of his services and expenses within sixty days after receipt of the ENGINEER's bill therefor, the ENGINEER may, after giving seven days written notice to the OWNER, suspend services under this Agreement until he has been paid in full all amounts due him on account of his services and expenses.

6.4.2 If the Agreement is terminated at the completion of any phase of the Basic Services called for under Section 2, progress payment to be made to the ENGINEER on account of services rendered shall constitute total payment for services rendered. If this Agreement is terminated during any phase of the Basic Services, the ENGINEER shall be paid for services rendered on the basis of a reasonable estimate of the portion of such phase completed prior to termination. In the event of any termination, the ENGINEER will be paid for all his reasonable expenses resulting from such termination, and for unpaid reimbursable expenses.

6.4.3 If, prior to termination of this Agreement, any work designed or specified by the ENGINEER, under Section 2, is suspended in whole or in part for more than three months or is abandoned, after written notice from the OWNER, the ENGINEER shall be paid for services performed prior to receipt of such notice from the OWNER as provided in paragraph 6.4.2 for termination during any phase of his service.

SECTION 7 - GENERAL CONDITIONS

7.1 TERMINATION

- 7.1.1 The OWNER has the right to terminate this agreement for any reason, and without cause by providing ten (10) days written notice to the ENGINEER of such termination and specifying the effective date of such termination; provided, however, that during such period of ten (10) days the ENGINEER shall have the opportunity to remedy such failures or violations to avoid such termination.
- 7.1.2 In the event of termination, as provided herein, the ENGINEER shall be paid for all services performed and actual expenses incurred up to the date of termination pursuant to Section 6.4.2 herein.

7.2 INSURANCE AND CLAIMS

- 7.2.1 The ENGINEER will secure and maintain such insurance as will protect him from claims under workmen's compensation acts, claims for damages because of bodily injury including personal injury, sickness, or disease, or death of any of his employees or of any person other than his employees, and from claims for damages because of injury to or destruction of tangible property including loss of use resulting therefrom. Said insurance policy or policies shall be written by a company or companies and in a form and substance approved by the OWNER prior to the policies being put into effect, and shall be in an amount not less than one million dollars (\$1,000,000).

7.3 SUCCESSORS AND ASSIGNS

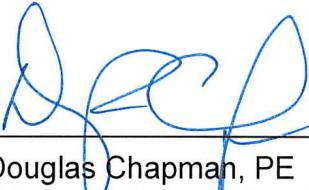
- 7.3.1 The OWNER and the ENGINEER each binds himself and his partners, successors, executors, administrators and assigns to the other party of this Agreement and to the partners, successors, executors, administrators and assigns of such other party, in respect to all covenants of this Agreement; except as above, neither the OWNER nor the ENGINEER will assign, sublet or transfer his interest in this Agreement without the written consent of the other. Nothing herein shall be construed as creating any personal liability on the part of any officer or agent of any public body which may be party hereto, nor shall it be construed as giving any rights or benefits hereunder to anyone other than the OWNER and the ENGINEER.

7.4 ENTIRE AGREEMENT

- 7.4.1 This Agreement constitutes the entire agreement between the OWNER and ENGINEER and supersedes all prior written or oral understandings. This Agreement may only be amended, supplemented or modified by a duly executed written instrument.

IN WITNESS WHEREOF, the parties hereto have made and executed this Agreement as of the day and year first written above.

McGILL ASSOCIATES, P.A.

By: 
Douglas Chapman, PE
Principal/Hickory Office Manager

(SEAL)

TOWN OF BLOWING ROCK

ATTEST: _____

Hilari Hubner
Town Clerk

By: _____

Shane Fox
Town Manager

PRE-AUDIT CERTIFICATION:

THIS INSTRUMENT has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act as amended.

By: _____

Nicole Norman Finance Director

APPROVED AS TO LEGAL FORM:

By: _____

Allen Moseley
Town Attorney

ATTACHMENT "A"

PROJECT UNDERSTANDING

MEMORIAL PARK IMPROVEMENTS

The Town of Blowing Rock has planned expansion and improvements of the existing Memorial Park in downtown.

Improvements as referenced on Figure 4.3 Final Concept /PartF Site plan include:

- New restroom facility and renovation of existing restroom building.
- New cornhole and shuffleboard court.
- Expansion of existing playground.
- New picnic shelter.
- Refurbishment/replacement of existing tennis courts to include pickleball.
- Relocate Volleyball court.
- Relocation of trash/recycling area.
- New sidewalks and ramps (providing ADA access from Wallingford to the restroom area).

The Restroom renovation will include updating the fixtures and finishes in the existing building and the new addition will include the following fixture counts:

Fixture Type	Women's	Men's
Handicap Accessible Toilet	1	1
Toilet	5	1
Urinal	--	2
Sink	2	2
Hand Dryer	1	1

The new restrooms will be a mirror image of the existing building, constructed to the west of the existing building with a shared entryway to access proposed and existing restrooms. Structural design for the restroom building only is included. The exterior of the building will have finishes that match the existing building. The addition will require relocating the existing sidewalk and removal of at least one tree and may impact the existing parking lot.

MEMORIAL PARK MASTER PLAN

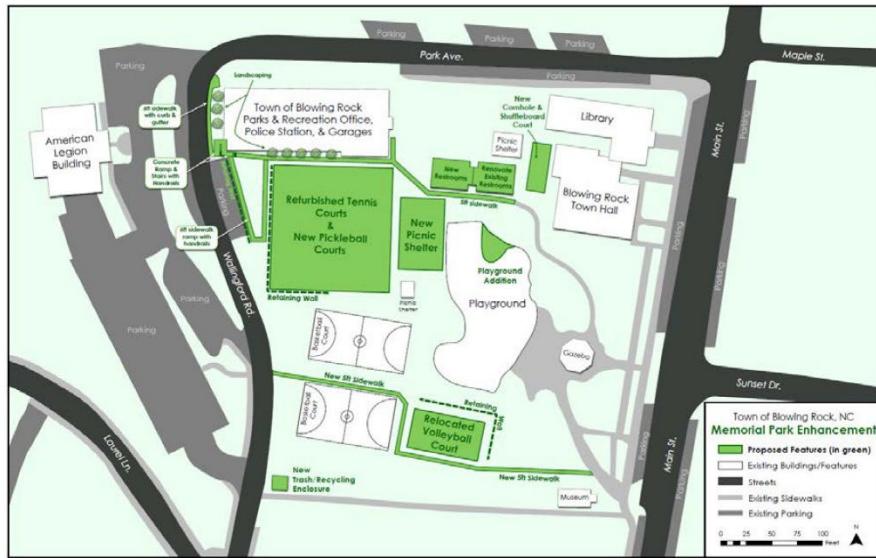


Figure 4.3: Final Concept/PARTF Site Plan

ATTACHMENT "B"
STANDARD RATE AND FEE SCHEDULE

PROFESSIONAL FEES	I	II	III	IV
Senior Principal	\$245			
Principal – Regional Manager – Director	\$195	\$210	\$220	\$225
Practice Area Lead	\$165	\$175	\$200	\$215
Senior Project Manager	\$185	\$195	\$205	\$210
Project Manager	\$165	\$180	\$185	\$190
Project Engineer	\$120	\$130	\$150	\$155
Engineering Associate	\$100	\$105	\$115	\$120
Planner- Consultant – Designer	\$105	\$120	\$140	\$155
Engineering Technician	\$95	\$110	\$120	\$125
CAD Operator – GIS Analyst	\$85	\$90	\$100	\$105
Construction Services Manager	\$135	\$150	\$160	\$165
Construction Administrator	\$100	\$115	\$125	\$130
Construction Field Representative	\$90	\$95	\$100	\$105
Environmental Specialist	\$90	\$100	\$105	\$110
Surveyor	\$95	\$100	\$105	\$110
Surveying Associate	\$75	\$80	\$85	\$90
Survey Technician	\$80	\$85	\$90	\$95
Survey Field Technician	\$65	\$70	\$75	\$80
Administrative Assistant	\$70	\$75	\$80	\$85

1. EXPENSES

- a. Mileage - \$0.65/mile
- b. Robotics/GPS Equipment - \$25/hr.
- c. Survey Drone - \$100/hr.
- d. Telephone, reproduction, postage, lodging, and other incidentals shall be a direct charge per receipt.

2. ASSOCIATED SERVICES -

- a. Associated services required by the project such as soil analysis, materials testing, etc., shall be at cost plus fifteen (15) percent.

**2022 Memorial Park Improvements
Capital Project Ordinance
Ordinance #2022-03**

BE IT ORDAINED by the Governing Board of the Town of Blowing Rock, North Carolina, that pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following capital project ordinance is hereby adopted:

Section 1. The project authorizes the construction of 2022 Memorial Park Improvements to be financed by funds on hand received from a PARTF grant (\$500,000), Phase 4 G.O. Bond funds for Parks & Recreation (\$431,000), a Town of Blowing Rock Fund Balance Allocation (\$152,000), a Blowing Rock ABC Board Allocation (\$50,000), and a TDA Board Allocation (to be considered for official allocation at the TDA's next regular meeting on March 29, 2022- \$152,000).

Section 2. The Town Manager of The Town of Blowing Rock is hereby directed to proceed with the capital project within the terms of the grant regulations and the budget contained herein.

Section 3. The following amounts are appropriated for the project:

Construction	\$1,009,350
Construction Contingency	112,150
Construction Engineering	163,500
<u>\$1,285,000</u>	

Section 4. The following revenues are anticipated to be available to complete this project:

PARTF Grant Funds	\$500,000
Town GO Bond Funds (Phase 4)	431,000
Fund Balance Allocation	152,000
TDA Allocation	152,000
ABC Allocation	50,000
<u>\$1,285,000</u>	

Section 5. The Finance Officer is hereby directed to maintain within the General Capital Project Fund sufficient specific detailed accounting records to satisfy the requirements of the grantor agencies, the grant agreements, and federal regulations.

Section 6. Funds may be advanced from the General Capital Fund for the purpose of making payments as due. Reimbursements requested should be made to the grantor agencies in an orderly and timely manner.

Section 7. The Finance Officer is directed to report, on a quarterly basis, on the financial status of each project element in Section 3 and on any total grant revenues received or claimed.

Section 8. Copies of this capital project ordinance shall be furnished to the Clerk to the Governing Board, and the Finance Officer for direction in carrying out this project.

Adopted this 8th day of March 2022

Charles Sellers, Mayor

Hilari Hubner, Town Clerk

Town of Blowing Rock

Request for Council Action

FROM: Hilari H. Hubner, Town Clerk/Tax Collector
SUBJECT: 2021 Tax Advertisement Request
TO: Mayor and Council
DATE: March 8, 2021
REQUESTED BY: Tax Collector

Public Hearing Yes No Not required NA
Properly Advertised Yes No Not required NA

BACKGROUND:

Pursuant to North Carolina General Statute 105-363(a), I herein submit the following report under oath.

The total 2021 real property tax levy billed is \$5,143,572.92; as of February 28, 2022, \$5,002,538.75 or 99% of the total net levy has been collected.

Unless otherwise directed, I will advertise for 2021 past due taxes on April 21, 2022.

Following Council approval to advertise the tax liens outstanding per North Carolina General Statutes 105-369(B1) each property owner will be notified by first class mail on or before March 9, 2022 to allow 30 days for payment prior to publishing the real property owner names and amounts outstanding at that time.

ATTACHMENTS:

STAFF RECOMMENDATION:

Approve the request to advertise delinquent taxes on April 21, 2022.

MEMORANDUM

To: Members of the Planning Board

From: Kevin Rothrock, Planning Director

Subject: Short-term rental definition

Date: February 8, 2022

Staff recently received legal advice from the Town Attorney that there should be consideration for modifying the definition of short-term rental found in our ordinance. The definition was most recently revised in 2018.

I have attached the current definition and a proposed definition. Additionally, I have included another section of the Land Use Code that should be amended as well for consistency.

The main issue with the current definition is the word “use”. The intention of the short-term rental regulations was never to prohibit the weekend use of the home by the owners, nor to prohibit the use of the home by family members on a short-term basis. The intention of the ordinance was to regulate the rental or lease of a home on a short-term basis in the residential zoning districts.

The proposed definition of short-term rental removes the word “use” for clarification. The revised wording also identifies the offer of the dwelling unit for rent for less than 28 days as a short-term rental.

Please review this draft ordinance modification before the meeting and be ready to discuss. There are 2 parts of the ordinance amendment.

Short-term rental draft ordinance amendment

Feb 2022

Part A:

BR current definition:

Short-Term Rental of a Dwelling Unit. The rental, lease, or use of an attached or detached residential dwelling unit for a duration that is less than 28 consecutive days. Short-term rental use does not include rooming houses, boarding houses, or bed and breakfast establishments, which are specifically addressed as separate uses within the Table of Permissible Uses.

Proposed definition:

Short-Term Rental. The rental, lease, or offer to make available, any attached or detached residential dwelling unit, or portion thereof, by way of a rental agreement, lease, license or any other means, (whether oral or written) for compensation or consideration, for a duration that is less than 28 consecutive days.

Part B:

Section 16-10.12. Short-Term Rentals. The Board finds that short-term rentals (STRs) are an appropriate use given the residential/resort character of Blowing Rock's planning jurisdiction, provided that specific controls are in place to regulate parking, trash, noise, tenant safety, and other related effects thereby protecting neighborhood property values, and the health, safety, and the general welfare of Town citizens and visitors.

Short-term rentals are defined as "The rental, lease, or offer to make available, any attached or detached residential dwelling unit, or portion thereof, by way of a rental agreement, lease, license or any other means, (whether oral or written) for compensation or consideration, for a duration that is less than 28 consecutive days." ~~the rental, lease, or use of an attached or detached residential dwelling unit for a duration that is less than 28 consecutive days. Rental agreements and contracts for less than 28 days are not permitted in zoning districts where short term rentals are not allowed.~~ The following standards shall apply to all short-term rentals with the Town's planning jurisdiction:

- a) A zoning permit must be initially obtained for each dwelling unit that is to be rented for a period of less than 28 days. The zoning permit for short-term rental must be renewed annually through the Planning and Inspections office by paying any required fee and requesting an inspection. The permit is not valid until a satisfactory inspection is completed.

AN ORDINANCE AMENDMENT TO CLARIFY THE DEFINITION OF SHORT-TERM RENTALS IN THE PLANNING AND ZONING JURISDICTION OF THE TOWN OF BLOWING ROCK, NORTH CAROLINA

WHEREAS, the Land Use Code was amended in 2018 to clarify the definition of short-term rentals and establish a permitting process for regulating lawful short-term rentals in the Blowing Rock Town Limits and Extraterritorial Jurisdiction; and

WHEREAS, the current definition of short-term rental needs further clarification; and

WHEREAS, the Planning Board and Board of Commissioners agree that this ordinance amendment is consistent with the 2014 Comprehensive Plan Update, and helps to promote the health, safety, and general welfare of the citizens of the Town of Blowing Rock.

NOW, THEREFORE, BE IT ORDAINED by the Board of Commissioners of the Town of Blowing Rock, North Carolina, that:

Section 1. Article 2 – Basic Definitions and Interpretations of the Land Use Code of the Town of Blowing Rock is hereby amended to read as set forth herein.

“Short-Term Rental of a Dwelling Unit. ~~The rental, lease, or use of an attached or detached residential dwelling unit for a duration that is less than 28 consecutive days. Short term rental use does not include rooming houses, boarding houses, or bed and breakfast establishments, which are specifically addressed as separate uses within the Table of Permissible Uses.~~

Short-Term Rental. ~~The rental, lease, or offer to make available, any attached or detached residential dwelling unit, or portion thereof, by way of a rental agreement, lease, license or any other means, (whether oral or written) for compensation or consideration, for a duration that is less than 28 consecutive days.”~~

Section 2. Section 16-10.12 of the Land Use Ordinance is hereby amended to read as set forth herein.

“Section 16-10.12. Short-Term Rentals.

~~Short-term rentals are defined as the rental, lease, or offer to make available, any attached or detached residential dwelling unit, or portion thereof, by way of a rental agreement, lease, license or any other means, (whether oral or written) for compensation or consideration, for a duration that is less than 28 consecutive days. the rental, lease, or use of an attached or detached residential dwelling unit for a duration that is less than 28 consecutive days. Rental agreements and contracts for less than 28 days are not permitted in zoning districts where short term rentals are not allowed. “~~

Section 3. **Severability; Conflict of Laws.** If this ordinance or application thereof to any person or circumstance is held invalid, such invalidity shall not affect other provisions or applications of the ordinance which can be given separate effect and to that end, the provisions of this ordinance are

declared to be severable. All ordinances or parts of ordinances in conflict with this ordinance are hereby repealed.

Section 4. Effective Date. This ordinance shall be effective upon being signed by the Mayor and Town Clerk.

Adopted this the _____ day of _____, 2022.

Signed this the _____ day of _____, 2019.

TOWN OF BLOWING ROCK

Charlie Sellers, Mayor

ATTEST:

Hilari H. Hubner, Town Clerk

TO: Mayor Charlie Sellers and the Blowing Rock Town Council

FROM: Kevin Rothrock, Planning Director

SUBJECT: SUP 2021-01 BRCC Pro Shop

APPLICANT: Blowing Rock Country Club

DATE: March 2, 2022

REQUEST

The Blowing Rock Country Club is requesting a Special Use Permit to construct a new pro shop at 200 Country Club Drive. The new pro shop will be located between the current club house and the cart barn/fitness center, in the previous location of the old cart barn. The 5.5-acre property is split-zoned R-15, Single-family and R-6M, Multi-family and is located in the WS-IV water supply watershed. The property is further identified by Watauga County PIN 2817-33-0498-000.

SITE PLAN

Building location

The pro shop will go in approximately the same location as the previous cart barn and will meet all applicable setbacks.

Parking/Access

The proposed pro shop requires approximately 20 parking spaces. With the construction of the fitness center/cart barn and parking area of nearly 100 spaces a few years ago, there is more than adequate parking for the proposed pro shop.

The design engineer is working out details related to building access from the ADA parking space. Those details will be covered under the final construction drawing review prior to issuance of a building permit and will have to meet the requirements of the NC Building Code.

Architectural

The applicant proposes a building design complimentary to the clubhouse. The building will feature poplar bark siding and board and batten siding, stone veneer and cedar wood shakes on the roof.

PLANNING BOARD RECOMMENDATION

At the February 24, 2022 meeting, the Planning Board made a recommendation to approve the Special Use Permit as submitted.

ATTACHMENTS

1. Draft Special Use Permit
2. Site/grading/utility plans
3. Architectural elevations

NORTH CAROLINA

WATAUGA COUNTY

TOWN OF BLOWING ROCK SPECIAL USE PERMIT
BRCC – Pro Shop
SUP No. 2021-01

On the date listed below, the Board of Commissioners of the Town of Blowing Rock met and held a public hearing to consider the following application:

Applicant: Blowing Rock Country Club, Inc

Project Name: BRCC – Pro Shop

Property Location: 201 Country Club Drive

Tax Parcel No.: 2817-33-0498-000.

Property Owners of Record: Blowing Rock Country Club, Inc

Proposed Use of Property: Golf Club Pro Shop

Current Zoning Classification of Property: R-15, Single-Family

Meeting Date: March 8, 2022

Having heard all of the evidence and arguments presented at the above-referenced hearing, the Board finds that the application complies with all applicable requirements of the Code of Ordinances of the Town of Blowing Rock, and that, therefore, the application to make use of the above-described property for the purpose indicated is hereby approved, subject to all applicable conditions of the Land Use Code and the following additional conditions:

1. The Applicant shall complete the development of the subject property in accordance with the plans submitted and approved by this Board, except as amended by the following conditions. Where said plans are in conflict with the provisions of the Land Use Code, the provisions of the Land Use Code shall prevail, except as specifically provided herein. Copies of said plans are made a part hereof as if fully rewritten herein, and shall be maintained in the Special Use Permit file in the Town Clerk's office. Any deviations from or changes in the plans must be pointed out to the Administrator in writing and specific written approval must be obtained as provided in the Blowing Rock Land Use Code.
2. The building shall be constructed according to the designs submitted, except as amended herein. Specific materials and colors shall be submitted to the Planning Director for approval before construction.
3. All electric, phone, and cable utilities shall be placed underground. No building shall be constructed over any part of any utility easement.
4. Impervious area is not increased with the proposed plans; therefore, storm water detention is not required.
5. The Applicant shall be responsible for the perpetual maintenance of all trees, plants, and landscaping required herein. Any dead, unhealthy, or missing vegetation, or any vegetation disfigured by severe pruning, shall be

replaced with new vegetation.

6. Prior to the commencement of any earth disturbing activities or the issuance of any building permit, the Applicant shall provide the Town Attorney with a title opinion on the subject property that there are no easements, rights-of-way, restrictions, or any other matters of record that would prevent the Applicant from completing the project as proposed.
7. Before any building permit is issued, the Applicant shall submit a revised site plan, in such form as shall be required by the Zoning Officer, that incorporates the terms and conditions of this Special Use Permit. All utility easements shall be signed and recorded prior to final approval of the site and grading plan.
8. Failure to comply with any provision herein shall subject the Applicant to forfeiture of the Permit and a stop work order on any further construction.
9. The Applicant shall reimburse the Town for all required legal advertising and the cost of mailing notices to all adjoining property owners. Two site plan reviews are included in the basic permit fees. An additional amount of \$100.00 will be charged for each additional review of the same site plan. The review by the Town Engineer of the basic site plan is included in the basic permit fee structure. However, the Applicant shall reimburse the Town for the Engineer's design or review of storm water management plans, water supply plans, erosion control plans, grading plans, or other detailed plans. The Applicant shall also reimburse the Town for all on-site inspections conducted by the Town Engineer.
10. In the event it is determined by the Town that the Applicant is in violation of its erosion control plan or any other condition of this Permit, thereby causing the Town to employ the Town Engineer to review and inspect the project, the Applicant shall be obligated to pay the Town Engineer for all time associated with his work on the project.
11. If any of the conditions affixed hereto or any part thereof shall be held invalid or void, then this Permit shall be void and of no effect.

IN WITNESS WHEREOF, the Town of Blowing Rock has caused this Permit to be issued in its name and the undersigned being property owner(s) and/or agent(s) of the property owner(s) does hereby accept this Special Use Permit, together with all of its conditions as binding upon them and their successors in interest.

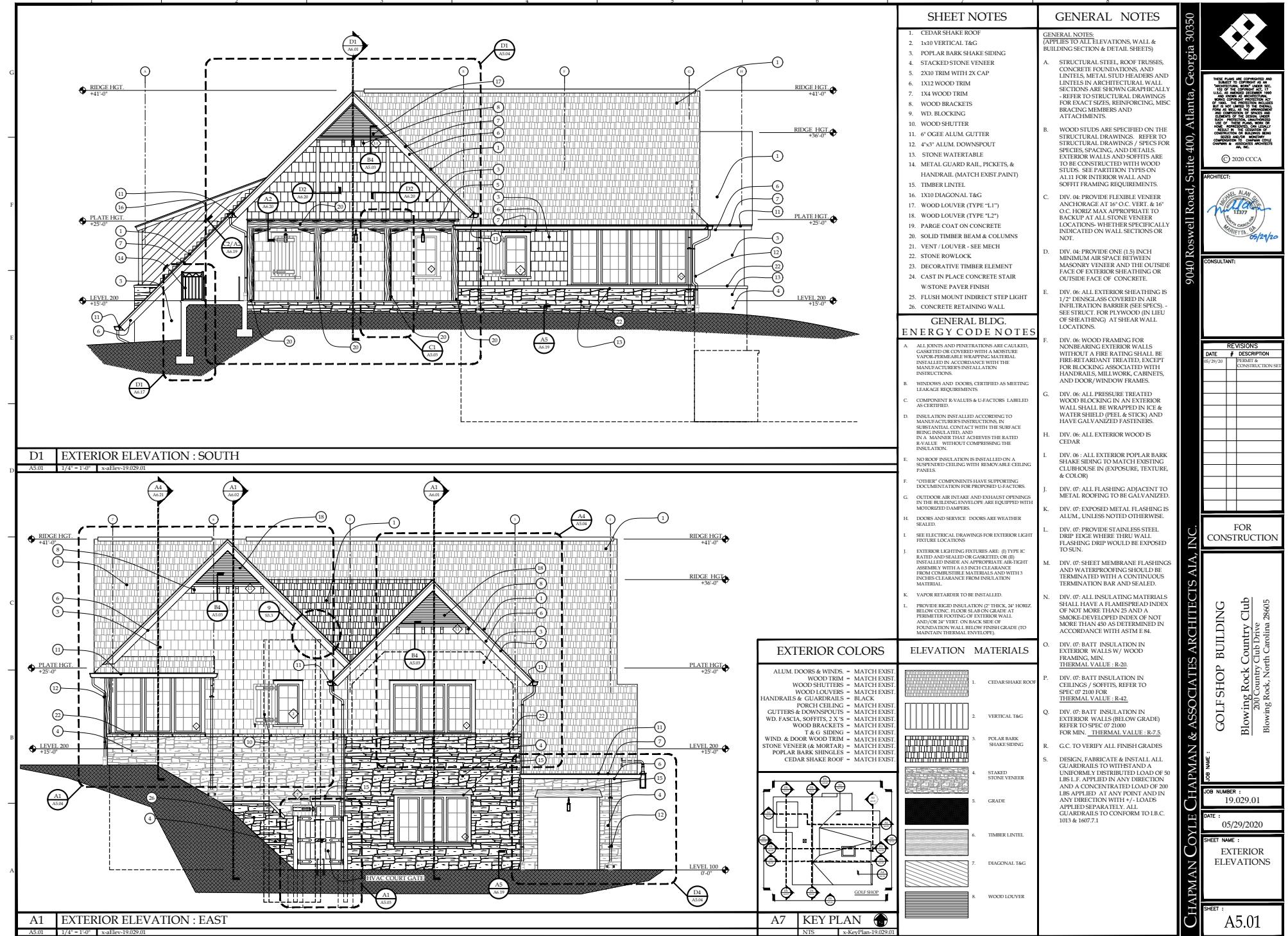
TOWN OF BLOWING ROCK

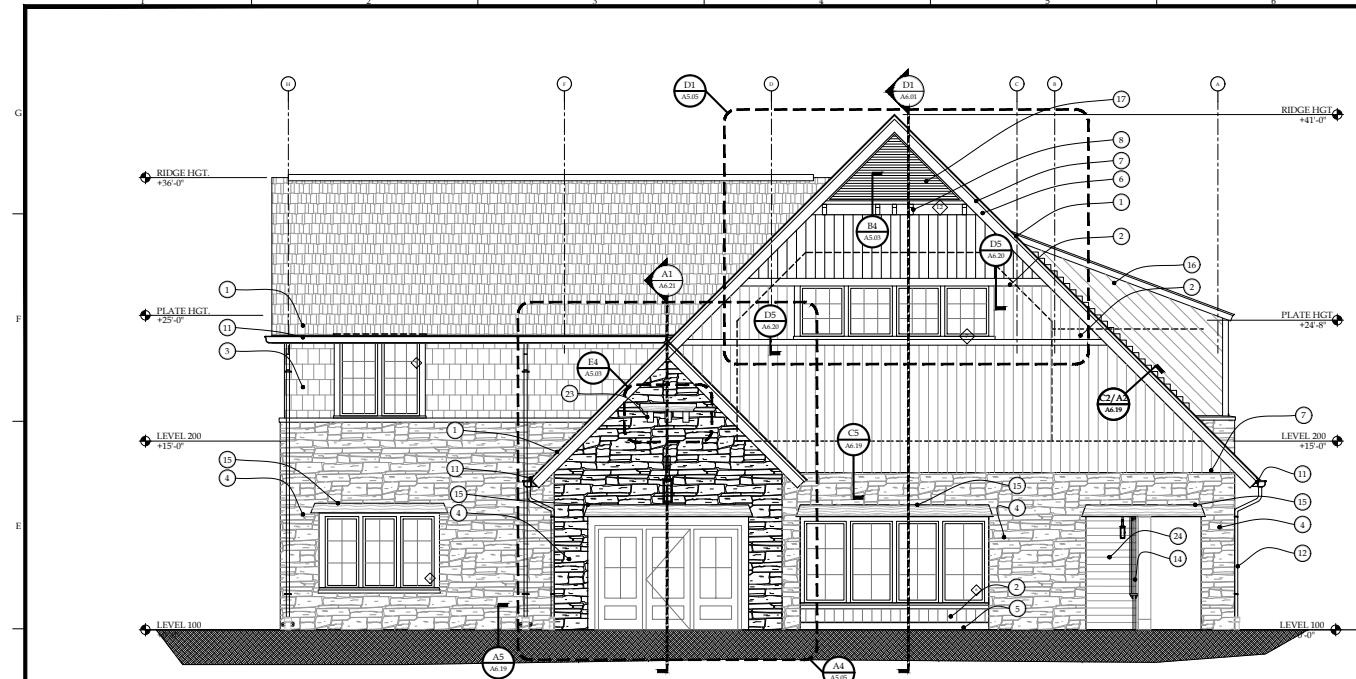
By: _____
Charlie Sellers, Mayor

ATTEST: _____
Hilari H. Hubner, Town Clerk

(CORPORATE SEAL)

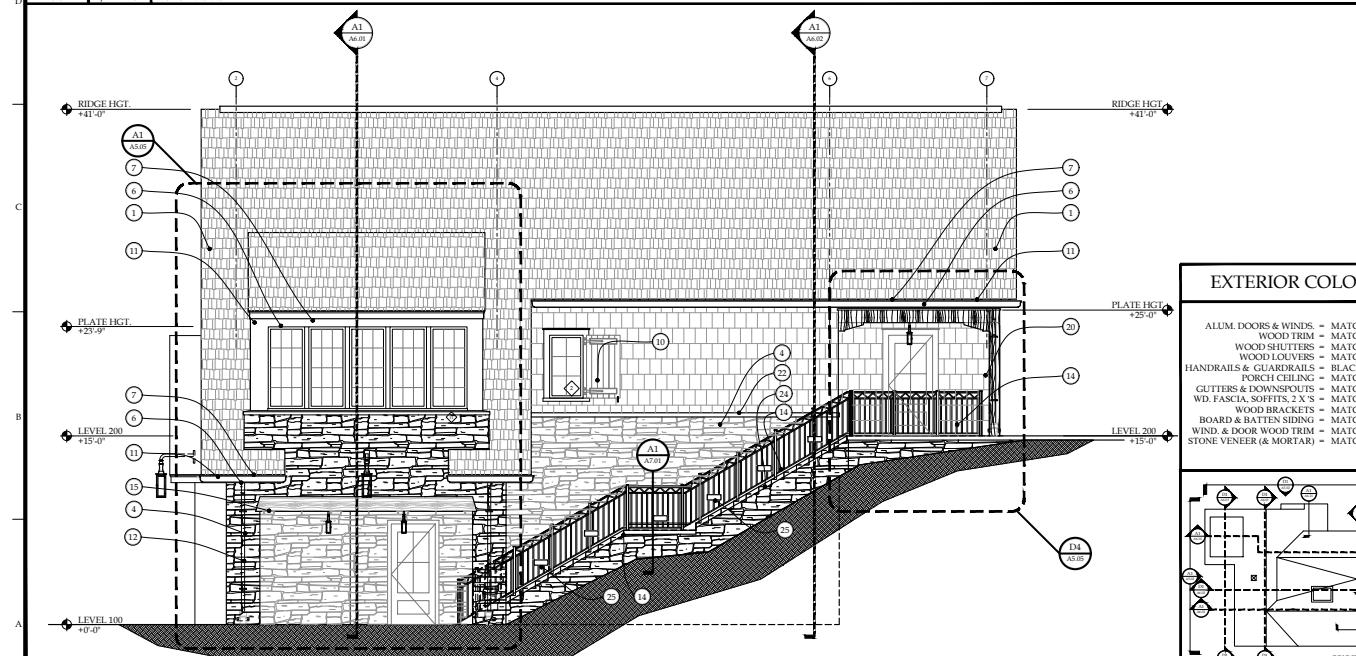






D1 EXTERIOR ELEVATION : NORTH

D	A5.02	1/4" = 1'-0"	x-aElev-19.029.01
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A1 EXTERIOR ELEVATION : WEST

A5.02 1/4" = 1'-0" x-aElev-19.029.01

SHEET NOTES

GENERAL NOTES

1. CEDAR SHAKE ROOF
2. 1x10 VERTICAL T&G
3. POPLAR BARK-SHAKE SIDING
4. STACKED STONE VENEER
5. 2x10 TRIM WITH 2X CAP
6. 1X12 WOOD TRIM
7. 1X4 WOOD TRIM
8. WOOD BRACKETS
9. WD. BLOCKING
10. WOOD SHUTTER
11. 6" OGEE ALUM. GLITTER
12. 4"x3" ALUM. DOWNSPOUT
13. STONE WATERTABLE
14. METAL GUARD RAIL, PICKETS, & HANDRAIL (MATCH EXIST. PAINT)
15. TIMBER LINTEL
16. 1X10 DIAGONAL T&G
17. WOOD LOUVER (TYPE "L1")
18. WOOD LOUVER (TYPE "L2")
19. PARGE COAT ON CONCRETE
20. SOLID TIMBER BEAM & COLUMNS
21. VENT / LOUVER - SEE MECH
22. STONE ROWLOCK
23. DECORATIVE TIMBER ELEMENT
24. CAST IN PLACE CONCRETE STAIR
W/STONE PAVER FINISH
25. FLUSH MOUNT INDIRECT STEP LIGHT
26. CONCRETE RETAINING WALL

GENERAL NOTES:
(APPLIES TO ALL ELEVATIONS, WALL & BUILDING SECTION & DETAIL SHEETS)

A. STRUCTURAL STEEL, ROOF TRUSSES, CONCRETE FOUNDATIONS, AND LINTELS, METAL STUD HEADERS AND LUMPS, AND OTHER CONSTRUCTION SECTIONS ARE SHOWN GRAPHICALLY - REFER TO STRUCTURAL DRAWINGS FOR EXACT SIZES/REINFORCING, MIS- BRACING MEMBERS AND ATTACHMENT DETAILS.

B. WOOD STUDS ARE SPECIFIED ON THE STRUCTURAL DRAWINGS. REFER TO STRUCTURAL DRAWINGS / SPECS FOR SPECIES, SPACING, AND DETAILS. EXTERIOR WALLS AND SOFFITS ARE TO BE CONSTRUCTED WITH 2" X 4" STUDS. SEE PARTITION TYPES ON A11.04 FOR INTERIOR WALL AND SOFFIT FRAMING REQUIREMENTS.

C. DIV. 04: PROVIDE FLEXIBLE VENEER ANCHORAGE AT 16" O.C. VERT. & 16" O.C. HORIZ MAX APPROPRIATE TO BACKING MATERIAL AND VENEER LOCATIONS - WHETHER SPECIFICALLY INDICATED ON WALL SECTIONS OR NOT.

D. DIV. 04: PROVIDE 1(1.5) INCH MINIMUM AIR SPACE BETWEEN MASONRY VENEER AND THE OUTSIDE FACE OF EXTERIOR WALLS OR OUTSIDE SURFACES OF CONCRETE.

E. DIV. 06: ALL EXTERIOR SHEATHING IS 1/2" DENSGLASS COVERED IN AIR INfiltration BARRIER (SEE SPECS.) - SEE STRUCT. FOR PLYWOOD (IN LIEU OF SHEATHING) AT SHEAR WALL LOCATIONS.

GENERAL BLDG.
ENERGY CODE NOTES

GENERAL BLDG.
ENERGY CODE NOTES

- A. ALL JOINTS AND PENETRATIONS ARE CALLED, GASKETED OR COVERED WITH A MOISTURE-VAPOR-PERMEABLE WRAPPING MATERIAL INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
- B. WINDOWS AND DOORS, CERTIFIED AS MEETING LEAKAGE REQUIREMENTS.
- C. CONVENTIONAL R-VALUES OR U-FACTORS LABELED AS CERTIFIED.
- D. INSULATION INSTALLED ACCORDING TO MANUFACTURER'S INSTRUCTIONS, IN SUBSTANTIAL CONTACT WITH THE SURFACE BEING INSULATED, AND SECURED IN A MANNER THAT ACHIEVES THE RATED R-VALUE WITHOUT COMPRESSING THE INSULATION.
- E. NO ROOF INSULATION IS INSTALLED ON A SUSPENDED CEILING WITH REMOVABLE CEILING PANELS.
- F. "OTHER" COMPONENTS HAVE SUPPORTING DOCUMENTATION FOR PROPOSED U-FACTORS.
- G. OUTDOOR AIR INTAKE AND EXHAUST OPENINGS IN THE ROOF AND SIDES ARE EQUIPPED WITH MOTORIZED DAMPERS.
- H. DOORS AND SERVICE DOORS ARE WEATHER SEALED.
- I. SEE ELECTRICAL DRAWINGS FOR EXTERIOR LIGHT FIXTURE LOCATIONS
- J. EXTERIOR LIGHTING FIXTURES ARE: (I) TYPE IC RATED AND (II) INSTALLED IN A PLANE THAT IS INSTALLED INTO A 6 1/2 INCH CLEARANCE ASSEMBLY WITH A 6 1/2 INCH CLEARANCE FROM THE INSULATION. THE FIXTURE IS 3 INCHES CLEARANCE FROM INSULATION MATERIAL.
- K. VAPOR RETARDER TO BE INSTALLED.
- L. PROVIDE INSULATION (2" THICK, 24" HORZ. BELOW CEIL. FLOOR, 16" GRADE AT PERIMETER) IN PLANE OF EXTERIOR WALL AND/OR 24" VERT. ON BACK SIDE OF FLOOR, PROVIDED INSULATION IS GRADE (D) MAINTAINS THERMAL ENVELOPE.
- F. DIV. 06: WOOD FRAMING FOR NON-LOAD-BEARING WALLS IS 15/16" THICK, WITH A FIRE RATING SHOWN AS BE FIRE-RETARDANT TREATED, EXCEPT FOR BLOCKING ASSOCIATED WITH HANDBRAILS, MILL WORK, CABINETS, AND DOOR/WINDOW FRAMES.
- G. DIV. 06: ALL PRESSURE TREATED WOOD BLOCKING IN AN EXTERIOR WALL SHALL BE WRAPPED IN ICE & WATER SHIELD (PEEL & STICK) AND HAVE GAVACIZED FASTENERS.
- H. DIV. 06: ALL EXTERIOR WOOD IS CEDAR
- I. DIV. 06: ALL EXTERIOR POPLAR BARK SHAKE SIDING TO MATCH EXISTING CEILING IN EXPOSURE, TEXTURE, & COLOR
- J. DIV. 07: ALL FLASHING ADJACENT TO METAL ROOFING TO BE GALVANIZED.
- K. DIV. 07: EXPOSED METAL FLASHING IS ALUM, UNLESS NOTED OTHERWISE.
- L. DIV. 07: PROVIDE STAINLESS STEEL DRIP EDGE WHERE THRU WALL FLASHING DRIP WOULD BE EXPOSED TO SUN.
- M. DIV. 07: SHEET MEMBRANE FLASHINGS AND WATERPROOFING SHOULD BE TERMINATED WITH A CONTINUOUS TERMINATION BAR AND SEALED.
- N. DIV. 07: ALL INSULATING MATERIALS SHALL HAVE A FLAMESPREAD INDEX OF 25 OR LESS AND A SMOKING DEVELOPMENT INDEX OF NOT MORE THAN 450 AS DETERMINED IN ACCORDANCE WITH ASTM E 84

S ELEVATION MATERIAL

CHAPMAN COYLE CHAPMAN & ASSOCIATES ARCHITECTS AIA, INC.

111

GOLF SHOP BUILDING Blowing Rock Country Club

CHAPMAN COY. E. CHAPMAN

JOB NAME
JOB
DATE

NUMBER :
19.029

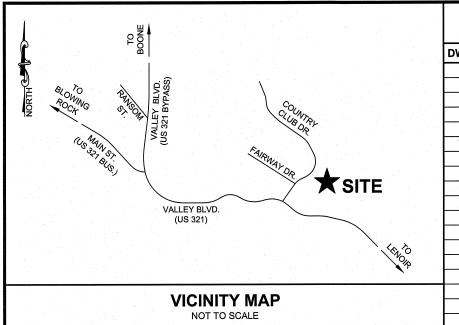
CHAPMAN COY

SHEE

05/29/22

CHAP

SHEET :



INDEX OF DRAWINGS

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VICINITY MAP

NOT TO SCALE

OWNER/APPLICANT:
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NC 28605
(828) 295-3171

CIVIL ENGINEER:
MUNICIPAL ENGINEERING
SERVICES COMPANY, PA
820-B STATE FARM ROAD
BOONE, NC 28607
(828) 262-1767

SURVEYOR:
APPALACHIAN PROFESSIONAL LAND
SURVEYORS & CONSULTANTS, PA
1480 US HIGHWAY 421 SOUTH
BOONE, NC 28607
(828) 264-0290

ARCHITECT:
CHAPMAN COYLE CHAPMAN ARCHITECTS
9040 ROSWELL ROAD, SUITE 400
ATLANTA, GA 30350
(704) 973-6644

GOLF SHOP BUILDING BLOWING ROCK COUNTRY CLUB 200 COUNTRY CLUB DRIVE BLOWING ROCK, NORTH CAROLINA

PROJECT NO. B20019.3

Municipal Engineering Services Company, P.A.
Boone, N.C.
Garner, N.C.



By: *[Signature]* 3-11-21
Professional Engineer



LEGEND	LINETYPES	ZONING COMPLIANCE INFORMATION	
EX. POWER POLE EX. SS MANHOLE EX. SS CLEANOUT EX. GATE VALVE EX. FIRE HYDRANT EX. LIGHT POLE EX. CATCH BASIN EX. DROP INLET EX. WATER METER EX. GUY WIRE EX. TEST PIT EX. DRAINAGE MANHOLE EX. GAS MARKER EX. WELL EX. TREE EX. BUSH EX. SIGN EX. TELEPHONE PEDESTAL EX. FIBER OPTIC MARKER	PROPOSED POWER POLE PROPOSED SS MANHOLE PROPOSED SS CLEANOUT PROPOSED GATE VALVE PROPOSED FIRE HYDRANT PROPOSED WATER METER PROPOSED LIGHT POLE PROPOSED STORMWATER DETENTION OUTLET CONTROL STRUCTURE PROPOSED STORMWATER DRAINAGE STRUCTURE PROPOSED STORMWATER PIPE FLARED END SECTION	<p>SITE ZONING = R6M & R-15</p> <p>TOTAL PROPERTY AREA = 5.495 ACRES</p> <p>PIN = 2817-33-0498-000</p> <p>PROPOSED USE = GOLF COURSE PRO SHOP</p> <p>MAXIMUM BUILDING HEIGHT = 30'-0"</p> <p>EXISTING SITE IMPERVIOUS AREA = 8,824 FT²</p> <p>PROPOSED SITE IMPERVIOUS AREA = 6,909 FT²</p> <p>DRAINAGE BASIN = NEW RIVER</p> <p>WATERSHED = WS-IV-PA</p>	<p>811 Know what's below. Call before you dig. North Carolina One-Call Center 811 or 1-800-632-4949 www.ncocc.org</p> <p>SET FOR SPECIAL USE PERMIT APPLICATION</p>



GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA

SCALE:	AS SHOWN	REV.	DESCRIPTION
DATE:	03-11-21		
DRW. BY:	SGJEOT		
CHKD. BY:	AJD		
FILED:			
PERMIT NUMBER:			
DRAWING NO.:	B20019		
HEET NO.:	C-1		1 OF 11

CONSTRUCTION/GRADING SEQUENCE

1. PRIOR TO ANY GROUND DISTURBING ACTIVITIES, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 811.
2. SCHEDULE PRE-CONSTRUCTION MEETING WITH TOWN OF BLOWING ROCK (828-265-6200).
3. BEGIN CLEARING AND GRUBBING WORK FOR THE INSTALLATION OF THE INITIAL EROSION AND SEDIMENTATION CONTROL MEASURES, INCLUDING TEMPORARY GRAVEL CONSTRUCTION ENTRANCE, SILT FENCE AND COMPOST FILTER SOCK INLET PROTECTION ON EXISTING DROP INLETS IN THE CART PATH. INSTALL A TEMPORARY CONSTRUCTION ENTRANCE.
4. BEGIN GRADING WORK FOR THE NEW GOLF COURSE BUILDING, GOLF CART PAVEMENT AREAS, SIDEWALKS AND RETAINING WALLS ON THE SITE. INSTALL STORMWATER DRAINAGE STRUCTURES #14 AND THE CONNECTING STORMWATER DRAINAGE PIPES AT THE GRADING WORK IS BEING COMPLETED. INSTALL HARDWARE CLOTH & GRAVEL INLET PROTECTION AT STORMWATER DRAINAGE STRUCTURES #2 & #4 THE SAME DAY THE STRUCTURE IS INSTALLED AND BACKFILLED. INSTANT THE NEW WATER AND SANITARY SEWER SERVICES FOR THE NEW BUILDING. WHEN GRADING ON A PORTION OR ALL OF THE CONSTRUCTION PATH OR GOLF CART PAVEMENT AREAS IS COMPLETE, THE DISTURBED AREA WITH MINIMUM 4 INCHES OF COARSE GROUND COVERAGE SHALL BE GRADED AND ADJACENT TO THE BUILDING PAD OR PAVEMENT AREAS IS COMPLETE, STABILIZE THE DISTURBED AREA IN ACCORDANCE WITH THE SEEDING SPECIFICATIONS ON PLAN SHEET C-6.
5. THE ANGLE FOR GRADED DRAWS AND FLATS SHALL NOT BE GREATER THAN THE ANGLE THAT CAN BE RETAINED BY VEGETATIVE COVER OR GRAVEL COVERAGE AND SEDIMENTATION CONTROL DEVICES OR STRUCTURES. IN ANY EVENT, SLOPES LEFT EXPOSED WILL, WITHIN 7 OR 14 CALENDAR DAYS OF COMPLETION OF ANY PHASE OF GRADING, BE PLANTED OR OTHERWISE PROVIDED WITH TEMPORARY GROUND COVER, DEVICES, OR STRUCTURES SUFFICIENT TO RESTRAIN EROSION. THE TIME DURATION IN CALENDAR DAYS WILL BE DETERMINED IN ACCORDANCE WITH THE NEW STABILIZATION TIME FRAMES CHART SHOWN ON PLAN SHEET C-10.
6. INSPECT ALL EROSION AND SEDIMENTATION CONTROL MEASURES IN ACCORDANCE WITH THE SELF-INSPECTION REQUIREMENTS SHOWN ON PLAN SHEET C-13. ALL MEASURES SHALL BE MAINTAINED UNTIL DISTURBED AREAS HAVE BEEN STABILIZED AND PERMANENT GROUND COVER ESTABLISHED.
7. REPAIR IMMEDIATELY ANY DAMAGE TO EROSION & SEDIMENTATION CONTROL MEASURES. SEE EROSION AND SEDIMENTATION CONTROL DETAILS SHEETS C-5 & C-9 FOR SPECIFIC MAINTENANCE REQUIREMENTS FOR EACH EROSION AND SEDIMENTATION CONTROL MEASURE SHOWN ON THE PLANS.
8. ONCE STABLE PERMANENT GROUND COVER IS ESTABLISHED, THE REMAINING EROSION & SEDIMENTATION CONTROL MEASURES MAY BE REMOVED. BARE SOIL AREAS REMAINING AFTER THE REMOVAL OF THE EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE IMMEDIATELY SEEDED AND MULCHED.
9. APPLY TOP DRESSING 6 MONTHS AFTER INITIAL SEEDING.

SANITARY SEWER SERVICE NOTES:

1. CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES PRIOR TO EXCAVATION.
2. ALL SANITARY SEWER SERVICES SHALL BE 4" SCHEDULE 40 PVC, UNLESS OTHERWISE SPECIFIED, AND CONSTRUCTED ACCORDING TO NC BUILDING CODE. PLACE 2-DIRECTIONAL CLEANOUTS ON S.S. SERVICE WITHIN 10' OF BUILDING.
3. PLUMBING ENGINEER SHALL CONFIRM SIZE, MATERIAL AND LOCATION OF ALL SEWER SERVICES.
4. THE CONTRACTOR/PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGE TO THE SEWER MAINS IN THE CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE.

LIGHTING NOTES:

1. OWNER & CONTRACTOR SHALL COORDINATE INSTALLATION OF SITE LIGHTING.
2. CONTRACTOR SHALL WORK WITH THE OWNER REGARDING RELOCATION OF THE EXISTING UNDERGROUND POWER SERVICE TO SITE LIGHTS.

SIGNAGE NOTES:

1. ALL SIGNAGE SHALL BE PERMITTED SEPARATELY.

WATER SERVICE & FIRE LINE NOTES

1. ALL UNDERGROUND UTILITIES SHALL BE FIELD LOCATED BY CONTRACTOR PRIOR TO EXCAVATION.
2. CONTRACTOR IS RESPONSIBLE FOR CONFIRMING LOCATION, SIZE & TYPE OF ALL EXISTING PIPES AT TIE-UPS, PRIOR TO ORDERING NEW PIPE OR FITTINGS.
3. ALL WATER MAINS SHALL BE C900 PVC PIPE.
4. ALL WATER SERVICE LINES SHALL BE CTS POLYETHYLENE PIPE.
5. ALL WATER MAINS AND SERVICES SHALL HAVE A MINIMUM 3' COVER UNLESS SPECIFIED OTHERWISE.
6. ALL VALVES SHALL BE RESILIENT-SEAT DUCTILE IRON GATE VALVES.
7. COORDINATE LOCATION OF ALL NEW TAPS & METERS WITH TOWN OF BLOWING ROCK UTILITY DEPARTMENT (828-295-9200).
8. CONCRETE THRUST BLOCKING SHALL BE PROVIDED AT ALL BELTS AND CONCRETES FOR MAINS AND SERVICES OVER 4" IN DIAMETER.
9. ALL BENDS AND TEES SHALL BE RESTRAINED JOINT AND HAVE THRUST BLOCKING, SEE DETAIL SHEET FOR SCHEDULE OF THRUST BLOCKING.
10. ALL HYDRANTS MUST BE KENNEDY K-8 HYDRANTS OR APPROVED EQUAL, COORDINATE WITH TOWN OF BLOWING ROCK UTILITY DEPARTMENT.
11. PLUMBING ENGINEER SHALL CONFIRM SIZE, MATERIAL, AND LOCATION OF ALL WATER SERVICES, SPRINKLER CONTRACTOR SHALL CONFIRM SIZE, MATERIAL AND LOCATION OF ALL FIRE AND FDC LINES.
12. THE CONTRACTOR/PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGE TO THE WATER MAINS IN THE CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE.

GENERAL NOTES

1. BOUNDARY AND TOPOGRAPHIC SURVEY BY APPALACHIAN PROFESSIONAL LAND SURVEYORS & CONSULTANTS, P.A., FRANK L. HAYES, P.L.S., L-1488, JOB NO. 13259, DATED 01-10-14.
2. CONTOUR INTERVAL = 1'.
3. PROPERTY IS NOT LOCATED IN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 37102817003, EFFECTIVE DATE 12-03-09.
4. SITE IS CURRENTLY ZONED R-15.
5. TOTAL PROPERTY AREA = 5.495 ACRES.
6. PRIOR TO ANY EXCAVATION, CONTRACTOR SHALL LOCATE ALL UNDERGROUND UTILITIES. CALL 1-800-832-4949.
7. ALL NEW UTILITIES SHALL BE UNDERGROUND.
8. CONTACT BREMCO FOR LOCATION OF POWER (828-264-8894).
9. CONTACT AT&T FOR PHONE SERVICE (828-262-4908).
10. CONTACT CHARTER SPECTRUM FOR CABLE SERVICE (828-733-1510).
11. PARKING SPACE DIMENSIONS ARE TO FACE OF CURB, TYP. RADII ARE TO BACK OF CURB, TYP.
12. THE CONTRACTOR/PROPERTY OWNER IS RESPONSIBLE FOR ANY DAMAGE TO THE WATER & SEWER MAINS IN THE CONSTRUCTION AREA UNTIL CONSTRUCTION IS COMPLETE.
13. ALL ROOFTOP EQUIPMENT SHALL BE SCREENED OR OTHERWISE PLACED OUT OF VIEW FROM ADJACENT STREETS.
14. ALL UTILITIES INCLUDING, BUT NOT LIMITED TO HVAC UNITS AND METERS SHALL BE SCREENED FROM ADJACENT PROPERTIES AND PUBLIC STREETS.
16. HANDICAP SPACES SHALL BE MARKED BOTH ON PAVEMENT & WITH SIGNS IN COMPLIANCE WITH THE LATEST EDITION OF THE NORTH CAROLINA ACCESSIBILITY CODE.

STORMWATER MANAGEMENT NOTES

1. THE PREVIOUS GOLF SHOP BUILDING ON THE SITE HAS BEEN DEMOLISHED; PRIOR TO THE DEMOLITION THE SITE HAD AN EXISTING IMPERVIOUS AREA OF 8,624 SQUARE FEET. THE PROPOSED IMPERVIOUS AREA OF THE SITE FOR THE NEW GOLF SHOP BUILDING IS 6,909 SQUARE FEET, A NET DECREASE OF 1,715 SQUARE FEET. THEREFORE A NEW STORM WATER MANAGEMENT SYSTEM IS NOT REQUIRED FOR THE SITE.

CONSTRUCTION NOTES:

1. REFER TO SITE WORK SPECIFICATIONS FOR GRADING, COMPACTING, DRAINAGE AND SEDIMENT & EROSION CONTROL.
2. ALL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED AND MAINTAINED PER THE NCDEQ EROSION & SEDIMENT CONTROL PLANNING & DESIGN MANUAL.
3. ALL EROSION & SEDIMENTATION CONTROL FABRIC SHALL BE INSTALLED IN STRICT ACCORDANCE WITH MANUFACTURER'S GUIDELINES.
4. IF CONTRACTOR WISHES TO USE AN EROSION & SEDIMENTATION CONTROL FABRIC OTHER THAN WHAT IS SPECIFIED, PRIOR APPROVAL MUST BE GRANTED BY THE ENGINEER.
5. CONTRACTOR SHALL PLACE CONCRETE INVERTS TO THE LEVEL OF THE OUTLET PIPE IN ALL DRAINAGE STRUCTURES SO THAT THERE IS NO PONDING IN STRUCTURES.
6. EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION & SEDIMENT CONTROL, ADDITIONAL EROSION & SEDIMENTATION CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.
7. THE CONTRACTOR SHALL USE ALL REASONABLE MEANS (E.G. WATER TRUCK, TARPS, MULCH, TEMPORARY SEEDING, ETC.) NECESSARY TO REDUCE DUST DURING CONSTRUCTION.
8. EXACT DIMENSIONS OF NEW BUILDING SHALL BE STAKED OUT ACCORDING TO THE ARCHITECTS FOUNDATION PLAN AND NOT THE GRADING PLAN IN THIS SET OF DRAWINGS.

WS-IV-PA WATERSHED CALCULATIONS

TOTAL AREA (SQUARE FEET OF PROPERTY)	5,961,101
MINUS IMPERVIOUS AREA IN SQUARE FEET EXISTING PRIOR TO SEPTEMBER 15, 1983 (DATE OF ORDINANCE)	272,100
EQUALS NET AREA OF SUBJECT PROPERTY	5,689,001
TIMES PERCENT OF IMPERVIOUS AREA ALLOWED (SEE PERMITTED ALLOWANCE LISTED BELOW)	X 0.24
 MULTI-FAMILY RESIDENTIAL: 24% IMPERVIOUS AREA (UP TO 24% WITH VARANCE) NON-RESIDENTIAL DEVELOPMENT: 36% IMPERVIOUS AREA IN LOCATIONS THAT HAVE CURB AND GUTTER UP TO 70% IF APPROVED AS SPECIAL INTENSITY ALLOCATION NON-RESIDENTIAL DEVELOPMENT: 36% IMPERVIOUS AREA IN LOCATIONS WITHOUT CURB AND GUTTER UP TO 70% IF APPROVED AS SPECIAL INTENSITY ALLOCATION	
MINUS IMPERVIOUS AREA (SQUARE FEET) ADDED AFTER SEPTEMBER 15, 1983	79,025
 EQUALS NET IMPERVIOUS ALLOWANCE	1,286,335
 PROPOSED IMPERVIOUS AREA TO BE ADDED AS PART OF THE IMPERVIOUS ALLOWANCE (MUST BE LESS THAN THE NET IMPERVIOUS ALLOWANCE)	-1,915

NOTE: CALCULATIONS ARE SHOWN FOR THE
ENTIRE BLOWING ROCK COUNTRY CLUB PROPERTY.
(PIN 2817-33-0498-000 & 2817-34-5447-000)

PROJECT NOTES		
SCALE:	AS SHOWN	
DATE:	03-11-21	
DRWN. BY:	SUGGEST	
CHKD. BY:	AJC	
PROJECT NUMBER		
B20019		
DRAWING NO.	SHEET NO.	
C-2	2 OF 11	



3421

MUNICIPAL ENGINEERING
SERVICES COMPANY, P.A.
820-B Shipwash Drive, Garner, NC 27529 - Phone: 919-772-5399
202-B State Farm Road, Boone, NC 28607 - Phone: 828/262-1761
LIC# 00081 C-00281

**GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA**



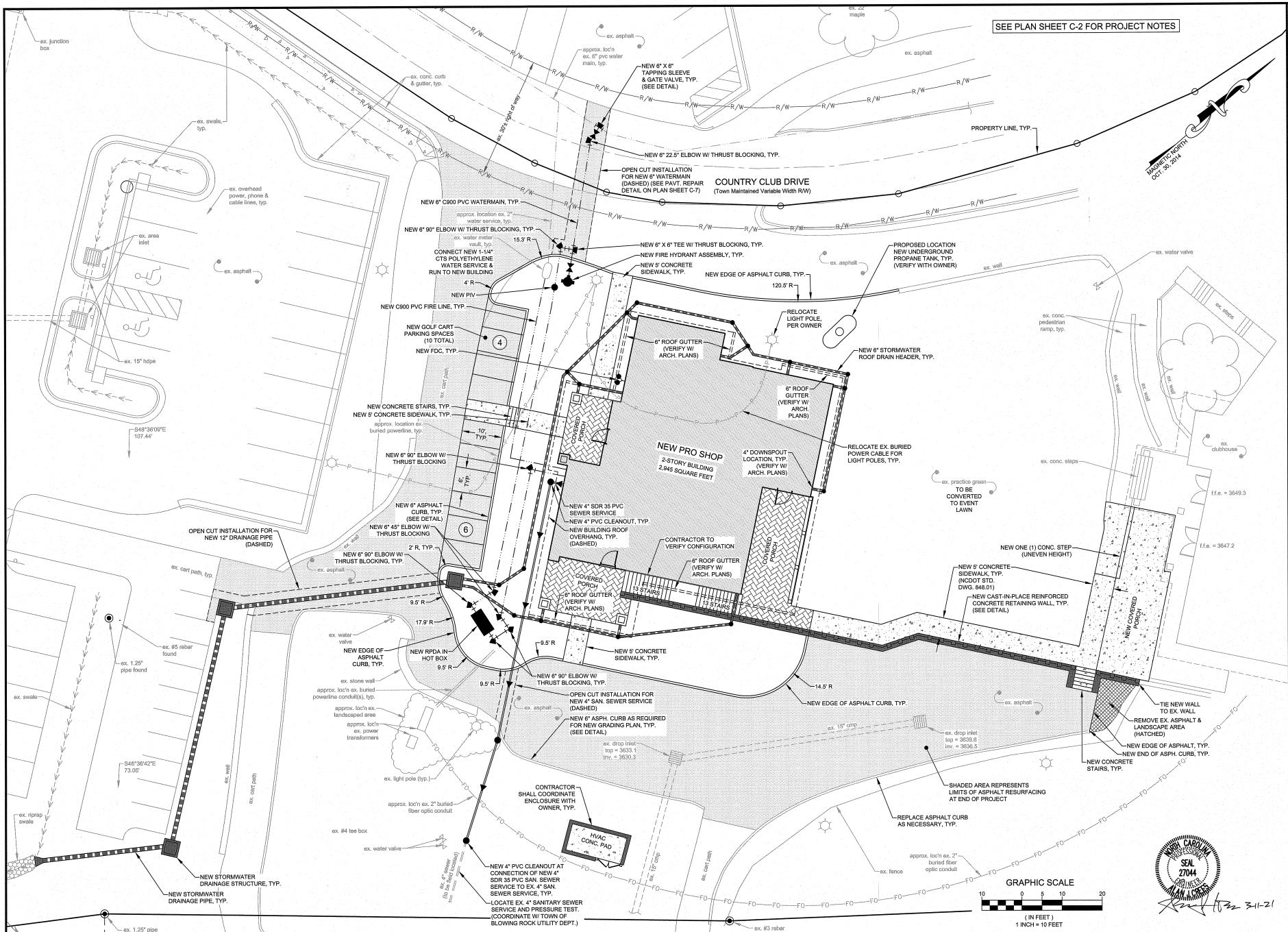
**GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA**

SITE PLAN

SCALE:	AS SHOWN
DATE:	03-11-21
DRAWN BY:	ME/ED
CHKD BY:	ME
PROJECT NUMBER:	B20919

DRAWING NO.	3
SHEET NO.	4 OF 11
REV.	C-4

SEE PLAN SHEET C-2 FOR PROJECT NOTES



**MUNICIPAL ENGINEERING
SERVICES COMPANY, P.A.**

**68 SHIPWASH DRIVE, GARNER, NC 27529 - PHONE: 919-772-5393
820-B STATE FARM ROAD, BOONE, NC 28607 - PHONE: 828-262-1767
LICENSE NUMBER: C-0281**

**GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA**

GRADING, STORMWATER DRAINAGE AND EROSION & SEDIMENTATION CONTROL PLAN

SCALE:	AS	DATE:	BY	REV.	DESCRIPTION
DATE:	03				
DRWN. BY:	SG				
CHKD. BY:	AB				
PROJECT:					
					P20

0019
SHEET NO.
5 OF 11

GRADING & STORMWATER DRAINAGE LEGEND

29.5P	FINISHED GRADE SPOT ELEV. TOP OF NEW PAVEMENT	TW FINISHED GRADE AT TOP OF RETAINING WALL
30.0C	FINISHED GRADE SPOT ELEV. TOP OF NEW CONC. CURB	BW FINISHED GRADE AT BOTTOM OF RETAINING WALL
47.05	FINISHED GRADE SPOT ELEV. TOP OF NEW SIDEWALK/STARS	NEW STORMWATER DRAINAGE STRUCTURE NUMBER
48.07e	EXISTING GRADE SPOT ELEV.	NEW STORMWATER DRAINAGE PIPE
FFE = 3632.2	FINISHED FLOOR ELEVATION FOR DRAINS	NEW STORMWATER DRAINAGE STRUCTURE
3:1	FINISHED GRADE SLOPE (HORIZONTAL SLOPE: VERTICAL SLOPE)	NEW STORMWATER DRAINAGE STRUCTURE NUMBER
2%	FINISHED GRADE SLOPE (PERCENT SLOPE)	PIPE FLOW END SECTION
	FINISHED GRADE SLOPE (SLOPE SECTION)	RD ROOF DRAIN FROM DOWNSPOUT
3630	EXISTING GRADE MINOR CONTOUR	RDH ROOF DRAIN HEADER
	EXISTING MINOR CONTOUR	HDPE HIGH DENSITY POLYETHYLENE PIPE
33	FINISHED GRADE MAJOR CONTOUR W/ ELEVATION	CPP CORRUGATED PLASTIC PIPE
	FINISHED GRADE MINOR CONTOUR	

EROSION & SEDIMENTATION CONTROL LEGEND

LIMITS OF DISTURBANCE
-SF-SF-SF-

SILT FENCE

HARDWARE CLOTH AND GRAVE
INLET PROTECTION

FS

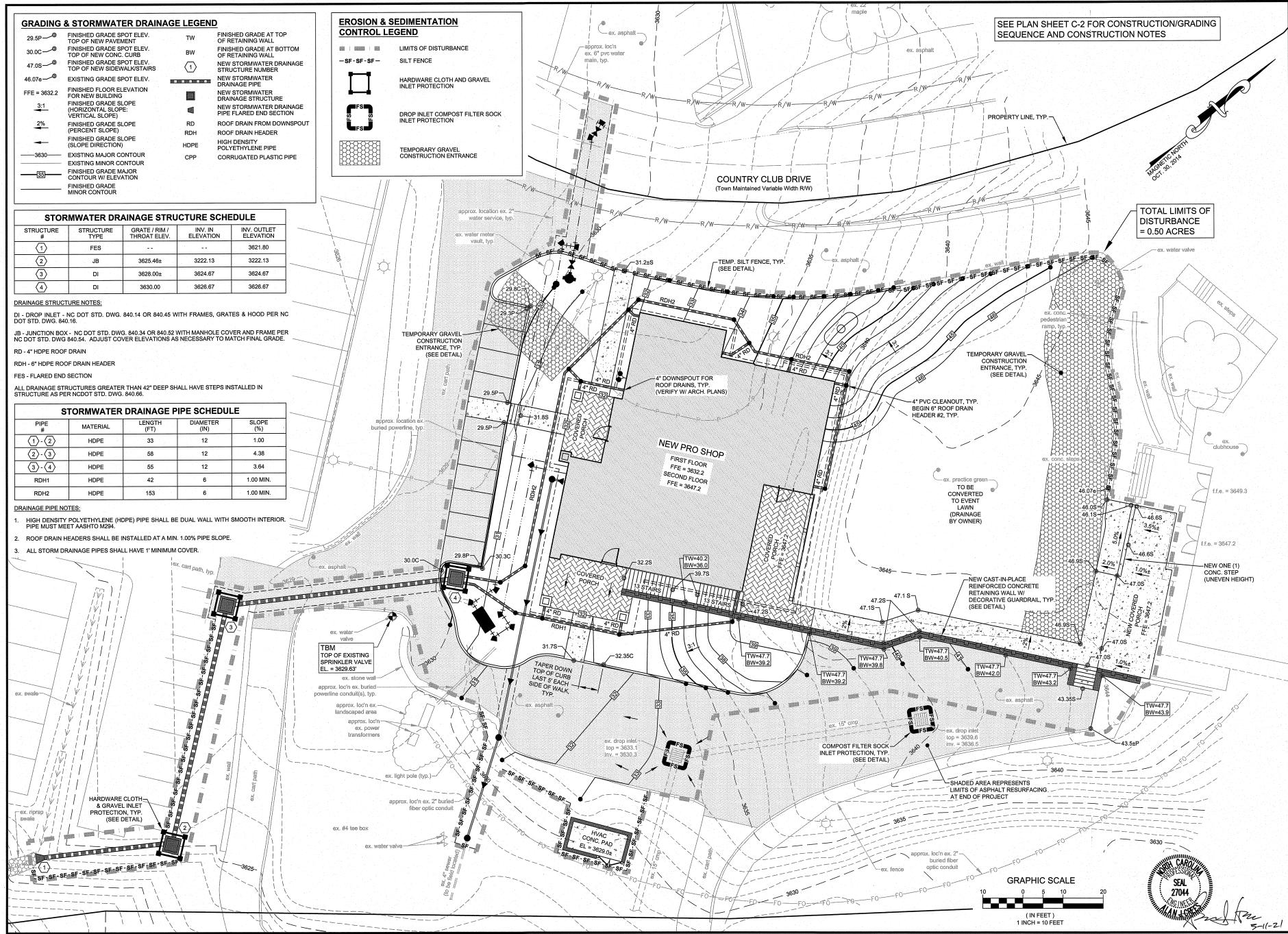
FS

FS

DROP INLET COMPOST FILTER
INLET PROTECTION

TEMPORARY GRAVEL
CONSTRUCTION ENTRANCE

SEE PLAN SHEET C-2 FOR CONSTRUCTION/GRADING
SEQUENCE AND CONSTRUCTION NOTES

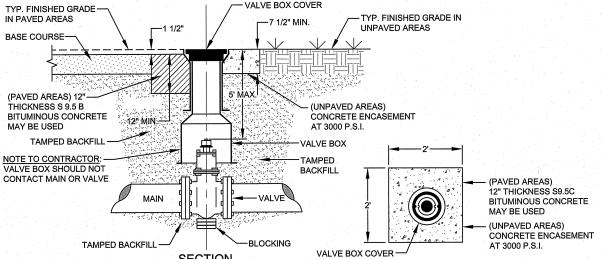


3



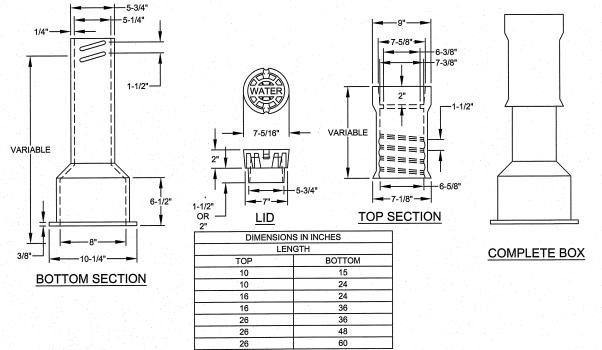
**GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA**

WATER & SANITARY SEWER
SERVICE DETAILS



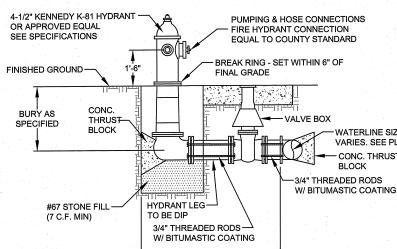
STANDARD VALVE BOX INSTALLATION

NOT TO SCALE



STANDARD VALVE BOX COMPONENTS

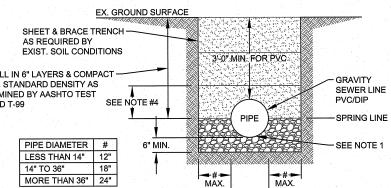
NOT TO SCALE



FIRE HYDRANT ASSEMBLY

NOT TO SCALE

- MINIMUM OF 4 CU. FT. STONE (MORE IF REQUIRED).
- CONCRETE THRUST BLOCK TO HAVE MIN. OF 6 SQ. FT. BEARING ON SOLID BANK (MORE IF REQUIRED).
- DRAIN HOLE AND FLANGES SHALL BE CLEAR OF CONC.

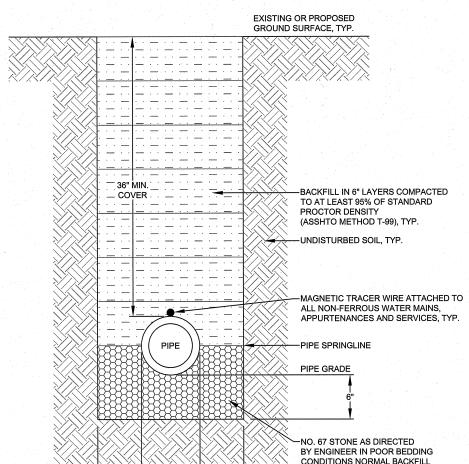


NOTES:

- SHAPE BOTTOM OF TRENCH TO FIT BOTTOM QUARTER ON SIDES OF AND BENEATH PIPE. EXCAVATE UNDER EACH BELL SUFICIENTLY TO PREVENT ANY LOAD ON BELL.
- CONTRACTOR SHALL INSTALL #67 STONE ON SIDES OF PIPE, FULL WIDTH OF TRENCH, TO SPRING LINE OF PIPE AND TO A DEPTH OF 6" BELOW PIPE.
- WHERE UNSTABLE SOIL IS ENCOUNTERED, EXCAVATE THE SOIL AS DIRECTED BY THE ENGINEERS AND BACKFILL WITH AT LEAST 6" OF #67 STONE. THE BACKFILL SHALL BE COMPACTED IN 6" LAYERS. PROVIDE A BELL FOR THE PIPE. THE EXTRA 2" OF SOIL FOR STABILIZING SEWER LINES WILL BE PAID BASED ON THE UNIT PRICES FOR EXTRA STONE CONTAINED IN THE BID PROPOSAL.
- BACKFILL OF TRENCHES SHALL BE ACCOMPLISHED IMMEDIATELY AFTER THE PIPE IS LAID. COMPACTION REQUIREMENTS SHALL BE ATTAINED BY THE USE OF MECHANICAL TAMPS ONLY. EACH LAYER OF BACKFILL SHALL BE PLACED LOOSE IN 6" LAYERS AND THOROUGHLY COMPACTED INTO PLACE.
- UNDER NO CIRCUMSTANCES SHALL WATER BE PERMITTED TO RISE IN UNBACKFILLED TRENCHES AFTER THE PIPE HAS BEEN PLACED.
- ALL MATERIAL SHALL HAVE AN IN PLACE DENSITY OF 100% TO A DEPTH 6" BELOW THE FINISHED GRADE OF BACKFILL MATERIAL AND 95% AT GREATER THAN 6" BELOW GRADE.

**TRENCH DETAIL FOR GRAVITY
SANITARY SEWER & SERVICES**

NOT TO SCALE

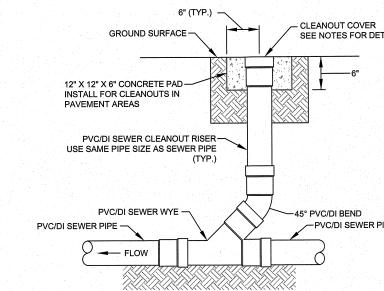


**TRENCH DETAIL FOR
PRESSURE WATERMAIN**

NOT TO SCALE

NOTES:

NOT TO SCALE

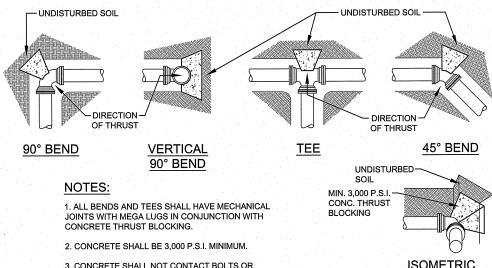


NOTES:

- CLEANOUTS IN NON-PAVEMENT AREAS SHALL HAVE COVER WITH REMOVABLE PVC THREADED PLUG.
- CLEANOUTS IN PAVEMENT AREAS SHALL HAVE CAST IRON RING AND COVER OR OTHER APPROVED PROTECTIVE DEVICE THAT IS TRAFFIC RATED.
- CONCRETE FOR CLEANOUT COVER PAD IN PAVEMENT AREAS SHALL BE 3000 PSI MINIMUM.
- PVC SEWER PIPE SHALL HAVE PVC CLEANOUTS.
- DI SEWER PIPE SHALL HAVE DI CLEANOUTS.

SEWER CLEANOUT DETAIL

NOT TO SCALE



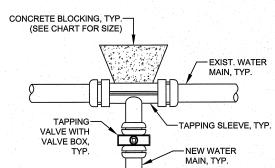
NOTES:

- ALL BENDS AND TEES SHALL HAVE MECHANICAL JOINTS WITH MEGA LUGS IN CONJUNCTION WITH CONCRETE THRUST BLOCKING.
- CONCRETE SHALL BE 3,000 P.S.I. MINIMUM.
- CONCRETE SHALL NOT CONTACT BOLTS OR FLANGES OF MECHANICAL JOINT FITTINGS.

MINIMUM CONCRETE BLOCKING (C.Y.)					
NOM. PIPE DIA. IN.	TEES & DEAD ENDS	90° BEND	45° BEND	22-1/2° BEND	11-1/4° BEND
4	1/3	1/3	1/3	1/3	1/3
6	1/3	1/3	1/3	1/3	1/3
8	1/3	1/2	1/3	1/3	1/3

STANDARD THRUST BLOCKING

NOT TO SCALE



NOTE:

- TAPPING SLEEVE SHALL BE DUCTILE IRON MECHANICAL JOINT OR TYPE 316 STAINLESS STEEL SLEEVE TYPE.

**TAPPING SLEEVE &
VALVE ASSEMBLY**

NOT TO SCALE



SCALE: AS SHOWN
DATE: 03-11-21
DRAWN BY: _____
CHKD BY: A/C
PROJECT NUMBER: B2029
DRAWING NO: C-6
SHEET NO: 6 OF 11
3-11-21



CUT SLOPE ROUGHENING FOR AREAS NOT TO BE MOWED

STAIR-STEP GRADE OR GROOVE CUT SLOPES WITH A GRADIENT STEEPER THAN 3:1. USE STAIR-STEP GRADING ON ANY ERODIBLE MATERIAL SOFT ENOUGH TO BE RIPPED WITH A BULLDOZER. SLOPES CONSISTING OF SOFT ROCK WITH SOME SUBSOIL ARE PARTICULARLY SUITED TO STAIR-STEP GRADING.

MAKE THE VERTICAL CUT DISTANCE LESS THAN THE HORIZONTAL DISTANCE. STAIR-STEP SLOPES HAVE A HORIZONTAL POSITION OF THE "TIE" LINE TOWARD THE VERTICAL WALL.

DO NOT MAKE INDIVIDUAL VERTICAL CUTS MORE THAN 2 FEET IN SOFT MATERIALS OR MORE THAN 3 FEET IN ROCKY MATERIALS. GROOVES ARE TO MAKE SURE THE GROOVES ARE NOT LOCATED ON RIDGES & DEPRESSIONS THAT RUN ACROSS THE SLOPE (ON THE CONTOUR). GROOVE USING ANY APPROPRIATE IMPLEMENT THAT CAN BE SAFELY OPERATED ON THE SLOPE, SUCH AS DISKS, TILLERS, OR RING HARRROWS. ON SLOPES TEEED ON A FRONT END LOADER BUCKET, DO NOT MAKE SUCH GROOVES LESS THAN 3 INCHES DEEP NOR MORE THAN 12 INCHES APART.

FILL SLOPE AREAS NOT TO BE MOWED

PLACE FILL SLOPES WITH A GRADIENT STEEPER THAN 3:1 IN LIFTS NOT TO EXCEED 9 INCHES, & MAKE SURE EACH LIFT IS PROPERLY CONSOLIDATED. USE A ROLLER TO ENSURE THE SLOPES CONSIST OF LOOSE, UNCOMPACTED FILL. 4-6 INCHES DEEP, USE GROOVING AS DESCRIBED ABOVE, TO ROUGHEN THE FACE OF THE SLOPES, IF NECESSARY. DO NOT BLADE OR SCRAPE THE FINAL SLOPE FACE.

CUTS FILLS & GRADED AREAS THAT WILL BE MOWED

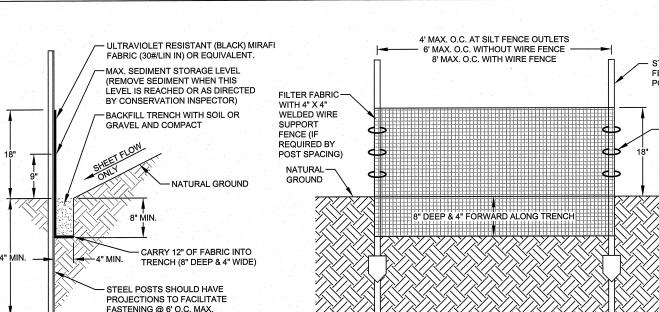
MAKE MOWED SLOPES NO STEEPER THAN 3:1. ROUGHEN THESE AREAS TO SHALLOW GROOVES BY NORMAL TILLING, DISKING, HARRROWING, OR USE OF CULTIPACK-SEEDER. MAKE THE FINAL PASS OF ANY SUCH TILLAGE IMPLEMENT ON THE CONTOUR. MOWING IS TO BE DONE IN ONE DIRECTION, TURNING CLOSE TOGETHER (LESS THAN 1 INCH APART) & NOT LESS THAN 1 INCH DEEP. EXCESSIVE ROUGHENING IS UNDESIRABLE WHERE MOWING IS PLANNED.

ROUGHENING WITH TRACKED MACHINERY

LIMIT ROUGHENING WITH TRACKED MACHINERY TO SANDY SOILS TO AVOID UNNECESSARY COMPACTION. THE SOIL SURFACE TRICKING IS GENERALLY NOT AS EFFECTIVE AS THE OTHER ROUGHENING METHODS DESCRIBED ABOVE. USE A BACKHOE TO DUG A TRENCH, OPERATE TRACKED MACHINERY UP & DOWN THE SLOPE TO LEAVE HORIZONTAL DEPRESSIONS IN THE SOIL. DO NOT BACK-SLIDE DURING THE FINAL GRADING OPERATION.

COMPLETE SEEDBED PREPARATION BY BREAKING UP LARGE CLOUDS & RAISING A SMOOTH, UNIFORM SURFACE (SLOPES LESS THAN 3:1) IN THE LEVEL DEPRESSIONS THAT CAN COLLECT WATER. BROADCAST SEED INTO A FRESHLY LOOSENED SEEDBED THAT HAS NOT BEEN SEALED BY RAINFALL.

SURFACE ROUGHENING



MAINTENANCE REQUIREMENTS:

1. INSPECT SILT FENCE AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
2. SHOULD THE FABRIC OF A SILT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.
3. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF OF THE FENCE HEIGHT AND AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAINFALL AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO NOT DAMAGE OR UNDERMINE THE FENCE DURING CLEANOUT.
4. INSTALL ADDITIONAL STEEL POSTS OR WIRE BACKING AT LOCATIONS WHERE SILT FENCE IS SAGGING.

SILT FENCE
NOT TO SCALE

SEEDBED PREPARATION

1. IF RECENT TILLAGE OPERATIONS HAVE RESULTED IN A LOOSE SURFACE, ADDITIONAL SURFACE ROUGHENING MAY NOT BE REQUIRED, EXCEPT TO DISK, HARRROW, OR RAKE THE SURFACE. IF THE SURFACE IS SOIL THAT IS SEALED OR CRUSTED, LOOSEN IT JUST PRIOR TO SEEDING BY DISKING, RAKING, HARRROWING, OR OTHER SUITABLE METHODS. GROOVE OR FURROW SLOPES STEEPER THAN 1:1 ON CONTOUR BEFORE SEEDING. SEE OTHER REQUIREMENTS FOR SURFACE ROUGHENING ON THIS SHEET. 2. SOIL SURFACE SHOULD BE WELL PULVERIZED, LOOSE AND UNIFORM.

SEEDBED PREPARATION

1. ROUGHEN SURFACES IN ACCORDANCE WITH THE NOTES ON SURFACE ROUGHENING ON THIS SHEET. 2. BREAK UP LARGE CLOUDS AND RAISING A SMOOTH, UNIFORM SURFACE (SLOPES LESS THAN 1:1) IN THE LEVEL DEPRESSIONS THAT CAN COLLECT WATER. BROADCAST SEED INTO A FRESHLY LOOSENED SEEDBED THAT HAS NOT BEEN SEALED BY RAINFALL.

SEEDING MIXTURE

SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120
AND	
KOREAN LESPEDEZA	50
OMIT HARRROWING WHEN DURATION OF TEMPORARY COVER IS NOT EXTENDED BEYOND JUNE 15.	
SUMMER (MAY 15 - AUGUST 15)	
SPECIES	RATE (LB/ACRE)
GERMAN MILLET	40
OR	
TALL FESCUE	50
FALL (AUGUST 15 - DECEMBER 15)	
SPECIES	RATE (LB/ACRE)
RYE (GRAIN)	120

SEEDING NOTE

1. WHERE APPEARANCE IS A CONSIDERATION, INCREASE KOREAN LESPEDEZA TO 40 LB/ACRE.

NURSE PLANTS

BETWEEN MAY 1 AND AUGUST 15 ADD 10 LB/ACRE GERMAN MILLET OR 15 LB/ACRE TALL FESCUE. PRIOR TO MAY 1 OR AFTER AUGUST 15, ADD 40 LB/ACRE RYE (GRAIN). IT MAY BE BENEFICIAL TO PLANT THE GRASSES IN LATE SUMMER AND OVERSEED THE LESPEDEZAS IN MARCH.

SEEDING DATES

BEST	POSSIBLE
BELOW 2500 FT: AUG 15-SEPT 1	JULY 25 - SEPT. 15
MAR 1-APR 1	MAR. 1 - MAY 10
ABOVE 2500 FT: JULY 20-AUG 15	JULY 15 - AUG. 30
MAR 20-APR 20	MAR. 5 - MAY 15

COMPLETE SEEDING EARLIER IN FALL, AND START LATER IN SPRING ON NORTH AND EAST FACING SLOPES.

SOIL AMENDMENTS

APPLY RECOMMENDATIONS OF SOIL TEST OR APPLY 2,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER. INCREASE FERTILIZER RATE TO 1000 LB/ACRE IN THE FALL.

MULCH

APPLY 4,000-5,000 LB/ACRE STRAW, ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR A MULCH ANCHORING TOOL. A DISK WITH BLADES SET NEARLY STRAIGHT CAN BE USED AS MULCH ANCHORING TOOL.

MULCH

APPLY 4,000 - 5,000 LB/ACRE GRAIN STRAW OR EQUIVALENT COVER OF ANOTHER SUITABLE MULCHING MATERIAL. ANCHOR STRAW BY TACKING WITH ASPHALT, NETTING OR ROVING. NETTING IS THE PREFERRED ANCHORING METHOD ON STEEP SLOPES.

MAINTENANCE

REFERTILIZE THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MOW NO MORE THAN ONCE PER YEAR. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

MAINTENANCE

REFERTILIZE THE SECOND YEAR UNLESS GROWTH IS FULLY ADEQUATE. MOW NO MORE THAN ONCE PER YEAR. RESEED, FERTILIZE AND MULCH DAMAGED AREAS IMMEDIATELY.

SOIL AMENDMENTS

REFERTILIZE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, FERTILIZE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE. TOPDRESS WITH 1000 LB/ACRE GRAIN STRAW OR EQUIVALENT. TOPDRESS WITH 1000 LB/ACRE GRAIN STRAW OR EQUIVALENT TO EXTEND TEMPORARY COVER BEYOND JUNE 15, OVERSEED WITH 80 LB/ACRE KOREAN LESPEDEZA IN LATE FEBRUARY OR EARLY MARCH.

TEMPORARY SEEDING SCHEDULE

PERMANENT SEEDING SCHEDULE

APPLY TOP DRESSING 6 MONTHS AFTER INITIATING SEEDING. TOP DRESSING TO CONSIST OF THE FOLLOWING:

RE-APPLY 10 LB/ACRE LIME AND FERTILIZER ACCORDING TO SOIL TESTS. IF SOIL TESTS ARE NOT AVAILABLE, APPLY 4,000 LB/ACRE GROUND AGRICULTURAL LIMESTONE AND 1,000 LB/ACRE 5-10-10 FERTILIZER.

APPLY 1/2" COMPOST OR TOP SOIL TO ANY BARE SPOTS.

RE-APPLY SEED MIX TO ANY BARE OR THIN SPOTS PER THE PERMANENT SEEDING SCHEDULE. PERMANENT SEEDING SHOULD PREFERABLY USE LOODPLAIN SEED MIX SPECIFICATIONS AS APPROPRIATE FOR THE AREA.

RE-MULCH BARE SPOTS THAT HAVE BEEN RE-SEEDED.

TOP DRESSING SPECIFICATIONS

NOTES:

1. DRIVE 5-FOOT STEEL POSTS 2 FEET INTO THE GROUND SURROUNDING THE INLET. SPACE POSTS EVENLY AROUND THE PERIMETER OF THE INLET, A MAXIMUM OF 4 FEET APART.

2. SURROUND THE POSTS WITH WIRE MESH HARDWARE CLOTH (1/4 MESH OPENINGS) TO BE STEEL POSTS AT THE TOP, MIDDLE, AND BOTTOM. PLACING A 2-FOOT FLAP OF WIRE MESH UNDER THE GRAVEL FOR ANCHORING IS RECOMMENDED.

3. PLACE CLEAN GRAVEL IN DOT NO. 5 OR NO. 57 OR NO. 57 WASHED STONE AROUND THE WIRE MESH AND SMOOTH TO AN EVEN GRADE.

4. ONCE THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED, REMOVE ACCUMULATED SEDIMENT AND ESTABLISH FINAL GRADING ELEVATIONS.

5. COMPACT THE AREA PROPERLY AND STABILIZE IT WITH GROUND COVER.

Maintenance Requirements:

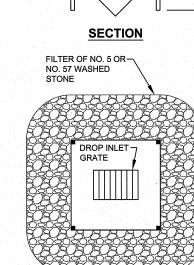
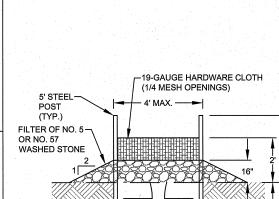
1. INSPECT HARDWARE CLOTH & GRAVEL INLET PROTECTION AT LEAST ONCE PER 7 CALENDAR DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT OF 1 INCH OR GREATER IN 24 HOURS. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.

2. SHOULD THE WIRE MESH HARDWARE CLOTH COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT IMMEDIATELY.

3. CLEAR THE AREA OF HARDWARE CLOTH OF ANY DEBRIS TO PROVIDE ADEQUATE FLOW FOR THE NEXT RAINFALL EVENT.

4. REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES ONE-HALF OF THE HARDWARE CLOTH HEIGHT AND AS NECESSARY TO PROVIDE ADEQUATE FLOW. TAKE CARE TO NOT DAMAGE OR UNDERMINE THE WIRE MESH DURING SEDIMENT REMOVAL.

5. REPLACE WASHED STONE AS NECESSARY.



HARDWARE CLOTH & GRAVEL INLET PROTECTION

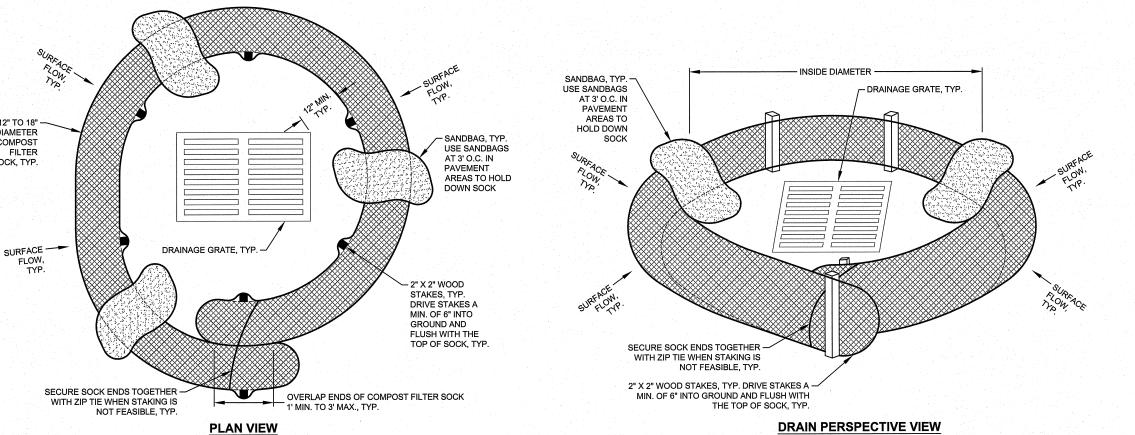
NOT TO SCALE

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

NOT TO SCALE



SCALE:	AS SHOWN
DATE:	03-11-21
DRW. BY:	EG
CHKD. BY:	AJD
RECD. BY:	
APPROVED:	
PERMIT NUMBER:	B202019
DRAWING NO.:	C-8
HEET NO.:	8 OF 11



PLAN VIEW

DRAIN PERSPECTIVE VIEW

NOTES:

1. USE 8" TO 12" DIAMETER SOCK ON CURBSIDE IN TRAFFIC AREAS.
2. USE 12" TO 18" DIAMETER SOCK IN NON-TRAFFIC AREAS OR AREAS WHERE THE LARGER SOCK CAN BE USED SAFELY.
3. USE 2 LONG WOODEN STAKES WITH A 2" X 2" NOMINAL CROSS-SECTION. DRIVE STAKES A MINIMUM OF 6" INTO THE GROUND AND THE TOP OF STAKE SHALL BE FLUSH WITH THE TOP OF THE FILTER SOCK.
4. STAKES SHALL NOT BE INSTALLED THROUGH THE FILTER SOCK.
5. SANDBAGS TO HOLD DOWN FILTER SOCK INSTALLED IN PAVEMENT AREAS SHALL BE PLACED AT A MAXIMUM OF 3 LF ON CENTER.
6. SECURE SOCK ENDS TOGETHER WITH ZIP TIE WHEN STAKING IS NOT FEASIBLE OR WHEN FILTER SOCKS ARE INSTALLED IN PAVEMENT AREAS.

DROP INLET COMPOST FILTER SOCK INLET PROTECTION

NOT TO SCALE



**GOLF SHOP BUILDING
BLOWING ROCK COUNTRY CLUB
200 COUNTRY CLUB DRIVE
BLOWING ROCK, NORTH CAROLINA**

SCALE: AS SHOWN
DATE: 03-1-21
DRWN. BY: EGT
CHKD. BY: A/C
PROJ. MANAGER:
B20019

DRAWING NO. C-9
SHEET NO. 9 OF 11





PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Actions taken to stabilize the site. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Indication of whether the measures were operating properly. 5. Description of maintenance needs for the measure. 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected. 2. Date and time of the inspection. 3. Name of the person performing the inspection. 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration. 5. Description of the sedimentation occurring at the site. 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits. 2. Description, evidence, and date of corrective actions taken, and any explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence, and date of corrective actions taken, and any explanation as to the actions taken to control future releases. 2. Record of a site-specific report to the appropriate Division Regional Office per Part III, Section C, Item 2(b) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

PART II, SECTION G, ITEM (4)
DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

- The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- This General Permit as well as the Certificate of Coverage, after it is received.
- Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- Visible sediment deposition in a stream or wetland.

(b) Oil spills if:

- They are 25 gallons or more,
- They are less than 25 gallons but cannot be cleaned up within 24 hours,
- They cause sheen on surface waters (regardless of volume), or
- They are within 100 feet of surface waters (regardless of volume).

- Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.

(d) Anticipated bypasses and unanticipated bypasses.

- Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. The report shall include information about the date, time, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> Within 24 hours, an oral or electronic notification. Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. Division staff may waive the requirement for a written report on a case-by-case basis.



Staff Report –Regular Agenda Item

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Shane Fox, Town Manager

Subject: 2022 Retreat Recap

Date: March 8, 2022

Information: The Blowing Rock Town Council and Town Staff participated in a three-day Winter Retreat from February 14th – 16th. During the three-day retreat the Town Council discussed topics related to:

- Watauga County Property Tax Revaluation
- EMS Discussion
- Solar and Sustainability
- Underground Utilities
- Blowing Rock TDA
- Parking
- Downtown Planning and Zoning
- Outdoor Restaurant Seating
- Park and Recreation Capital Needs
- Water and Sewer Capital Needs
- Streets, Sidewalks, and Paving Capital Needs
- Town Facilities Needs
- Traffic and Pedestrian Safety
- Stakeholder Presentations

I will present a recap of the retreat during the Town Council meeting, setting the stage for other agenda item discussions later in the night. We will discuss the Council's top priorities going into the coming year and long-term planning discussion.

Attachments:

- 1. 10 Year-Capital Plan – Water and Sewer**
- 2. 10 Year Capital Plan – Streets**
- 3. 10 Year Capital Plan – Park and Recreation**

Town of Blowing Rock - WATER AND WASTEWATER

10 Year Capital Improvements Plan

CATEGORY / IMPROVEMENT	CURRENT COST	YEAR	YEAR	YEAR	YEAR	YEAR	YEAR	YEAR	YEAR	YEAR	YEARS	YEARS	
		1 2021-2022	2 2022-2023	3 2023-2024	4 2024-2025	5 2025-2026	6 2026-2027	7 2027-2028	8 2028-2029	9 2029-2030	10 2030-2031	11 TO 15	16 TO 20
Water Treatment Plant													
Phase 1	\$1,500,000		\$1,575,000										
High service pumps, finish water pumps, piping/valves, SCADA Part 1													
Phase 2	\$925,000							\$1,086,875					
Flocculators, mud valves, second filter, effluent flow meter, SCADA Part 2													
Phase 3	\$325,000										\$430,625		
Window and handrail replacement, pipe gallery drain and ventilation													
Sub-total	\$2,750,000												
Wastewater Treatment Plant													
Phase 1	\$790,000		\$829,500										
Replace bar screen and influent pumps, SCADA Part 1													
Phase 2	\$725,000							\$851,875					
Digester Aeration System, SCADA Part 2													
Phase 3	\$510,000										\$675,750		
RAS Piping, building roof, EQ basin improvements, basin leak repair													
Sub-total	\$2,025,000												
Water Line Replacements													
Cast Iron Water Lines	\$8,500,000							\$1,997,500				\$8,128,125	
Galvanized Water Lines	\$4,400,000								\$1,778,700			\$3,276,625	
PVC Water Lines	\$2,000,000										\$2,650,000		
Main Street Water Line	\$4,000,000	\$4,000,000											
Sub-total	\$18,900,000												
Water Meter Replacement													
2,400 meters	\$1,200,000		\$600,000	\$600,000									
Sub-total	\$1,200,000												
Sewer Line Replacements													
VC Sewer Lines	\$6,500,000										\$2,153,125	\$5,433,594	
Main Street Sewer Line	\$800,000	\$800,000											
Mayview Force Main	\$300,000		\$322,500										
Main Interceptor Sewer to Cornish	\$1,050,000										\$1,391,250		
Sub-total	\$8,650,000												
Mayview Pump Station													
Pump Station Replacement	\$1,000,000		\$1,075,000										
Sub-total	\$1,000,000												
Grandfather Lift Station													
Lift Station Upgrades	\$50,000							\$58,750					
Sub-total	\$50,000												
Grand Total	\$34,575,000	\$4,800,000	\$4,402,000	\$600,000	\$0	\$0	\$0	\$3,995,000	\$0	\$1,778,700	\$0	\$7,300,750	\$16,838,344

Town of Blowing Rock - STREETS, STORMWATER, and SIDEWALKS

10 Year Capital Improvements Plan

CATEGORY / IMPROVEMENT	CURRENT COST	YEAR	YEARS	YEARS										
		1 2021-2022	2 2022-2023	3 2023-2024	4 2024-2025	5 2025-2026	6 2026-2027	7 2027-2028	8 2028-2029	9 2029-2030	10 2030-2031	11 TO 15	16 TO 20	
Road Paving														
Paving 10% every 3 years beginning in 2030	\$5,500,000											\$687,500	\$728,750	\$5,104,688
Sub-total	\$5,500,000													
Culvert Replacements														
1 Replacement every other year - \$20,000 each	\$100,000		\$21,000		\$22,000		\$23,000		\$24,000		\$25,000	\$53,000	\$87,000	
Sub-total	\$100,000													
Road Failures														
1 Repair every other year - \$60,000	\$300,000	\$61,500		\$64,500		\$67,500		\$70,500		\$73,500		\$238,500	\$174,000	
Sub-total	\$300,000													
Paving Ditches														
200 LF every other year - \$50/LF	\$50,000		\$10,500		\$11,000		\$11,500		\$12,000		\$12,500	\$26,500	\$43,500	
Sub-total	\$50,000													
North Main Street Sidewalk														
Phase 1 - Hartleys to new Inn walk	\$250,000		\$262,500											
Phase 2 - new Inn walk to Hill Street	\$250,000		\$262,500											
Phase 3 - in front of 7 acre parcel	\$800,000									\$980,000				
Sub-total	\$1,300,000													
Valley Boulevard Parking Lot														
Surface lot on property beside Fire and Rescue	\$1,000,000			\$1,075,000										
Sub-total	\$1,000,000													
Grand Total	\$8,250,000	\$61,500	\$556,500	\$1,139,500	\$33,000	\$67,500	\$34,500	\$70,500	\$36,000	\$1,053,500	\$725,000	\$1,046,750	\$5,409,188	

Town of Blowing Rock - PARKS AND RECREATION MASTER PLAN

10 Year Capital Improvements Plan Summary

CATEGORY / IMPROVEMENT	CURRENT COST	YEAR	YEARS	YEARS								
		1 2021-2022	2 2022-2023	3 2023-2024	4 2024-2025	5 2025-2026	6 2026-2027	7 2027-2028	8 2028-2029	9 2029-2030	10 2030-2031	11 TO 15
Memorial Park												
Update existing public restrooms	\$110,000	\$110,000										
New public restrooms	\$335,000	\$335,000										
New picnic shelter	\$135,000		\$135,000									
Update Tennis courts/Pickleball courts	\$269,000		\$269,000									
Relocate Volleyball court	\$60,000		\$60,000									
New Cornhole boards & Shuffleboard court	\$20,000		\$20,000									
Playground addition	\$116,000	\$116,000										
Landscaping	\$40,000		\$40,000									
Site work and utilities	\$200,000	\$200,000										
Sub-total	\$1,285,000											
Broyhill Park												
Safety railing around road bridge	\$4,000	\$4,100										
Assess and repair sidewalk as needed	\$10,000		\$2,100		\$2,200		\$2,300		\$2,400		\$2,500	
Add railing next to metal grate in sidewalk on Laurel Ln.	\$1,500	\$1,538										
Trail improvements on path to Davant Field	\$40,000				\$44,000							
<i>Lake Dredging Study</i>	\$35,000		\$36,750									
<i>Dredge sediment</i>	\$200,000		\$215,000									
<i>Stone around lake edge</i>	\$105,000			\$112,875								
<i>Replace Walking Bridge</i>	\$7,500			\$8,063								
<i>Replace Pier</i>	\$20,000			\$21,500								
<i>Seating in Gazebo</i>	\$5,000			\$5,375								
Sub-total	\$428,000											
Davant Field												
Install shade structures for dugout areas	\$5,000					\$5,625						
Add signage with distance demarcations on paved path	\$1,500		\$1,575									
Performance/event stage	\$15,000						\$17,250					
Accessible sidewalk from restrooms to paved path	\$12,000		\$12,600									
Grading and drainage improvements at pavilion & restrooms	\$38,000					\$42,750						
Stream bank stabilization and erosion control	\$40,000		\$43,000									
<i>Replace Restrooms</i>	\$400,000						\$460,000					
<i>Replace Bat Netting</i>	\$5,000			\$5,500								
<i>Repair Skin on Supports</i>	\$5,000		\$5,250									
<i>Pavilion Signage</i>	\$7,500			\$8,063								
<i>Picnic Area under Pavilion</i>	\$10,000					\$11,500						
Sub-total	\$539,000											
Robbins Pool at Broyhill Park												
Expand parking	\$200,000										\$250,000	
<i>Repair rock columns</i>	\$25,000	\$25,625										
<i>Replace marcite coating inside pool</i>	\$100,000		\$105,000									
<i>Repair pool gutter</i>	\$15,000		\$15,750									
<i>Playground improvements</i>	\$150,000					\$168,750						
Sub-total	\$490,000											

Annie Cannon Gardens													
Landscape improvements	\$26,000	\$5,125	\$3,150	\$2,150	\$2,200	\$2,250	\$2,300	\$2,350	\$2,400	\$2,450	\$2,500		
Remove stage	\$5,000						\$5,500						
Renovate water feature	\$4,500			\$4,725									
Repair wood timbers on stairs	\$5,000	\$5,125											
Replace bench seating	\$10,000					\$5,500			\$6,000				
Wall improvements along New Year Creek	\$100,000		\$30,000			\$110,000							
<i>Restroom Building</i>	\$400,000				\$430,000								
<i>Retaining Wall along existing stage</i>	\$80,000						\$88,000						
<i>Close Road and Parking Create ADA Access</i>	\$500,000						\$550,000						
Sub-total	\$1,130,500												
Glen Burney Trail													
Signage along trail	\$5,000			\$5,000									
<i>Trailhead</i>	\$100,000					\$110,000							
<i>Cascade Overlook</i>	\$250,000											\$331,250	
Sub-total	\$355,000												
Legacy Trail													
Stone stairs across from Mac House													
Resurfacing	\$50,000								\$60,000				
<i>Signage, Lighting, more landscaping</i>	\$25,000								\$30,000				
Sub-total	\$75,000												
Koerschner Memorial Garden													
Update features/plantings	\$10,000								\$12,000				
<i>Stairway to Laurel Lane</i>	\$15,000							\$17,625					
Sub-total	\$25,000												
American Legion Building													
Connectivity Improvements	\$1,000,000					\$1,125,000							
Sub-total	\$1,000,000												
Blowing Rock Clubhouse													
Restroom Upgrades	\$15,000		\$15,750										
Sub-total	\$15,000												
Grand Total	\$5,342,500	\$802,513	\$756,650	\$851,025	\$922,900	\$1,344,375	\$493,350	\$19,975	\$112,800	\$2,450	\$255,000	\$331,250	\$0

Staff Report –Regular Agenda Item

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Shane Fox, Town Manager

Subject: EMS Resolution

Date: March 8, 2022

Information: Dating back to 1974, the Town of Blowing Rock has formally asked Watauga County for a 24/7 ambulance service to be placed within the Town Limits of Blowing Rock. Throughout the years, the continued need for a FT ambulance service continues to be a pressing issue with the Town Council. The most recent resolution was passed in October 2020, in which the Town Council once again asked the County to provide the FT ambulance service. Given the timing of the upcoming 2022-2023 budget workshop and work sessions, the Town of Blowing Rock would like to formally ask of Watauga County a 24/7 ambulance service to be placed within the Town Limits of Blowing Rock. The Town of Blowing Rock continues to advocate for its citizens and their needs, and this issue has been identified as a top priority.

Attachments: EMS Resolution



A RESOLUTION SUPPORTING IMPROVEMENTS TO THE DISTRIBUTION OF AMBULANCE BASE LOCATIONS IN WATAUGA COUNTY

WHEREAS, the Blowing Rock Town Council recognizes the need for additional EMS crews in Watauga County and positioning ambulance bases to better serve all of Watauga County; and

WHEREAS, the northern and southern (Blowing Rock) area of Watauga County are under-served areas needing an ambulance base location; and

WHEREAS, 49% of emergency medical calls in Watauga County are located outside of the Boone Fire district per the Watauga Medics, 2021 Annual Report, and two of the three ambulance bases in Watauga County are located in Boone; and

WHEREAS, based on 2021 Annual Report all fire districts in Watauga County, with the exception of Boone with a 7:05 minute response time, receive ambulance response times greater than the national 9 minute standard; and

WHEREAS, based on the 2021 Annual Report, the Blowing Rock Fire District had an average response time of 11:27, which is 4:22 longer than the Boone Fire District, and

WHEREAS, the Blowing Rock Fire District generates approximately 15% of the emergency medical calls in Watauga County, second only to the Boone district call volume; and

· **WHEREAS**, the Town of Blowing Rock and Blowing Rock Fire & Rescue are willing to provide a facility to house an ambulance and crew at nominal cost to Watauga Medics, Inc. or Watauga County; and

NOW, THEREFORE, BE IT RESOLVED that the Town of Blowing Rock, Town Council formally requests that the Watauga County Board of Commissioners approve the funding necessary to provide a full-time, 24/7 ambulance service to be placed within the Town Limits of Blowing Rock during the fiscal year 2022-2023.

ADOPTED this 8th day of March 2022, by the Town of Blowing Rock, Town Council.

Charlie Sellers, Mayor

Hilari Hubner, Town Clerk



TOWN OF BLOWING ROCK

List of Those Interested in Serving on Volunteer Boards

Starting March 2022

	<u>Expiring Terms</u>	<u>Interested</u>
PLANNING BOARD (Need 4)	Mike Page Pete Gherini Sam Glover Vacant Spot	Paul McGill Marshall Sealey Rita White Linda Campbell Cat Perry Alice Roess Stephen Schiller Thomas Barrett Charles Senne Christopher Squires Sam Glover Caryn Lisa Cusick
BOARD OF ADJUSTMENT (Need 1 Full Time Member)	EB Springs	EB Springs
ABC BOARD (Need 1)	Jerry Starnes	Jerry Starnes
TDA (Need 2 – Lodging 1 & 2)	Greg Tarbutton Kevin Walker	Greg Tarbutton Kevin Walker
BRAAC (Need 2)	Melissa Pickett Bo Henderson	Whitney Brown Bo Henderson

Volunteer Board List

Sam Hess	28-Feb-24	March, 2021	sam@hessandhesscpa.com	828-295-3131
Mike Page	28-Feb-22	March, 2016	mikepagetwo@gmail.com	828-414-9092
Bill McCarter	28-Feb-23	March, 2020	mccarter61@gmail.com	704-472-9134
Pete Page	28-Feb-23	March, 2020	pete.page@gmail.com	828-295-7558
Pier Gherini, Chairman	28-Feb-24	March, 2018	gherinijr@aol.com	805-689-7230
Harrison Herbst- ETJ*, Vice Chair	28-Feb-24	March, 2018	hsherbst@gmail.com	828-295-7851
Joe Papa	28-Feb-24	March, 2015	papajoesblowingrock@gmail.com	828-295-3239
Sam Glover	28-Feb-22	March, 2019	sam.glover11@gmail.com	828-773-0315
Vacant	28-Feb-23	March,		

* The Extraterritorial Jurisdiction (ETJ) representative is appointed by the County Commissioners.

Board of Adjustment

Member	Term Expires	Date Appointed	
Full Members			
Eli "EB" Springs	28-Feb-22	March, 2016	eb springs54@gmail.com
Lee Rocamora	28-Feb-24	March, 2018	rr3511@hotmail.com
Jerry Starnes	28-Feb-23	March, 2020	jerry@blowingrockrealestatenc.com
Stephen Schiller	28-Feb-24	March, 2021	schiller@shscp.com
Lance Campbell	28-Feb-23	March, 2017	lcampbellcrna@mac.com
Harrison Herbst- ETJ*	28-Feb-24	March, 2015	hsherbst@gmail.com
Alternate Members			
Catherine Perry	28-Feb-24	March, 2021	catperry1@hotmail.com
Brandon Walker	28-Feb-24	March, 2021	brandon@nyu.edu
Sarah Murphy	28-Feb-23	March, 2020	sarahmurphy@yahoo.com

* The Extraterritorial Jurisdiction (ETJ) representative is appointed by the County Commissioners.

ABC Board

Member	Term Expires	Date Appointed	
Sylvia Tarleton	28-Feb-24	March, 2021	tarletoncs@aol.com
Susie Greene	28-Feb-23	February, 2005	greenesusie02@gmail.com
Jerry Starnes	28-Feb-22	March, 2019	jerry@blowingrockrealestatenc.com

TDA Board

Member	Affiliation	Term Expires	Date Appointed	
Kevin Walker	Lodging - 2	28-Feb-22	March, 2019	kevin@blowingrockresortrentals.com
Dean Bullis	Business/Tourism-Related - 1	28-Feb-24	April, 2009	deanacta@aol.com
Greg Tarbutton	Lodging - 1	28-Feb-22	March, 2019	g tarbutton@chetola.com
Tim Gupton	At-large Member	28-Feb-23	March, 2020	t gupton@hpg.com
Virginia Powell	At-large Member	28-Feb-22	March, 2020	vpowell@tobr.us
Nicole Norman	Finance Office	ex-officio		finance@townofblowingrocknc.gov
Shane Fox	Town Manager	ex-officio		sfoxtobr.us

Blowing Rock Appearance Advisory Commission

Member	Term Expires	Date Appointed	
Reduced members from seven to five in March 2017			
Curtis Andrews	28-Feb-24	October, 2018	clanyc@mac.com
Chris Wetmore	28-Feb-24	March, 2018	c wetmore@ipmhoa.com
Bo Henderson	28-Feb-22	March, 2014	bo auhill@gmail.com
Carol Knapp	28-Feb-24	March, 2018	carolknapp1@gmail.com
Melissa Pickett	28-Feb-23	March, 2014	melissad.pickett@gmail.com



Memo

To: Shane Fox, Town Manager

From: Aaron Miller, Chief

Date: February 23, 2022

Reference: Parking Advisory Committee

At the Town Council Retreat in February, the issue of pay to park in Blowing Rock was discussed at length. As discussed, the next steps in the process are to officially vote to move forward with a plan for pay to park and to establish an advisory committee to make recommendations to the Council about how to best implement the plan. Issues that the advisory committee will discuss will include:

- Days and times for paid parking
- Parking rates for on street/off street parking
- Overtime parking fines
- Payment methods
- Impact and mitigation on private parking lots
- Resident parking rates/permits
- Business owner or employee rates/permits
- On street parking time limits
- Time line for implementation
- *Other issues as requested by Council

The advisory committee will consist of representatives from the following groups or organizations:

- Town Manager
- Town Council Members (2)
- TDA (1)
- Chamber of Commerce (1)
- Blowing Rock residents (2)
- Blowing Rock business owners (2) (one retail, one restaurant)
- Parks and Recreation (1)
- Town Finance Director (1)
- Blowing Rock School (1)
- First Baptist Church (1)
- Blowing Rock Methodist (1)
- Rumple Presbyterian (1)

TOWN OF BLOWING ROCK POLICE DEPARTMENT
143 Park Avenue, PO Box 603 Blowing Rock NC 28605
(828)295-5212



St. Mary's (1)

Wells Fargo or new occupant (1)

First Citizens Bank (1)

Police Department (1)

*Others as requested by Council

The advisory committee may be broken down into sub groups to help facilitate work on particular issues. Contact has been made with all of the organizations listed. They have been asked to provide me with the name and contact information for the representative that they choose. Once all representatives are in place, work can begin to provide information to the Council.

Staff Report –Regular Agenda Item

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Shane Fox, Town Manager

Subject: Underground Utilities

Date: March 8, 2022

Information: During the 2022 Winter Retreat, the Town Council heard a very detailed presentation from the Chamber of Commerce regarding a project that would place the utility lines on Main Street underground. At the conclusion of the presentation, the Chamber's group identified the next steps if the Council gives direction to move forward. The first step would be a comprehensive design with the utility providers and McGill Associates to provide a project that was ready for bid and final cost numbers. The design work is a combination of services from Blue Ridge Energy at a cost of approx.. \$67,000 and from McGill Associates at a cost of \$50,000 for a total intitnal design cost of \$117,000. If the Council decides to move forward with the design and bid documents, the Town would need to approve a budget amendment in the amount of \$117,000.

Attachments:

1. McGill – Design Proposal Contract
2. Blue Ridge Energy – Cost invoice for design work
3. If approved – Budget amendment

March 1, 2022

Mr. Shane Fox, Town Manager
Town of Blowing Rock
1036 Main Street
Blowing Rock, North Carolina 28605

Re: Engineering Services Proposal
Downtown Underground Utilities
Blowing Rock, North Carolina

Dear Mr. Fox:

We are pleased to submit this proposal to provide professional engineering services for the above referenced project. This proposal outlines the scope of services for the project and defines the terms of the agreement between McGill Associates, P.A. (McGill) and the Town of Blowing Rock (Town). We appreciate the opportunity to work with you on this project.

PROJECT UNDERSTANDING

We understand that the Town would like to relocate the above ground aerial utilities (electric, cable, and telephone) along Main Street. This project will coincide with the water and sewer utilities being replaced along Main Street. We understand that the individual utilities will be providing design for the underground utilities to include location, number, size and type of conduits to be installed within the Main Street water and sewer project. McGill will take the designs provided by the utility companies, coordinate with the utilities, and produce a combined set of biddable drawings for construction. The intent of this portion of the project is to include the installation of conduits (as specified by the individual utilities) with trenching and restoration for later installation of wiring, equipment, and connections to customer services (which will be provided by each utility).

SCOPE OF SERVICES

We will provide bid documents and bidding assistance, to include the following:

Bid Documents

1. Discussions with Town's designated representatives regarding specific project objectives.
2. McGill will incorporate the design drawings from the electric, cable, and telephone companies to produce a complete set of construction drawings.

3. Preparation of construction documents (drawings, and any required Division 1 through 33 specifications for improvements along Main Street).
4. During the bid document phase, we will provide two submittals (one preliminary and one final) of construction documents for review by the Town of Blowing Rock and their utility partners.
5. Incorporate the approved bid documents into the overall Main Street project manual for solicitation of formal bids.
6. Assist with the formal bidding procedure to coordinate questions and answers with the utilities and prospective bidders.

CLIENT RESPONSIBILITIES

The following items will be the responsibility of Town of Blowing Rock (and/or utility partners):

1. The Town will provide design of underground utility design for layout of equipment and conduit needs for all proposed facilities, which will ultimately be provided by each utility company.
2. Town shall provide written comments back within two weeks of submission for each submittal (preliminary and final), if no comments are necessary, please state that in writing as well.

We shall be entitled to rely upon the accuracy and completeness of all information provided by Town of Blowing Rock and its utility partners.

EXCLUSIONS/CLARIFICATIONS

Our Scope of Basic Services includes only services to bidding. Construction phase services or value engineering are not included in the scope.

FEES

We will provide the services for the bid documents described in this proposal for a lump sum fee of \$50,000. Invoices will be provided monthly as work progresses, with payment terms of Net 30 days.

OTHER ADDITIONAL SERVICES

Any item not contained in Project Understanding, Scope of Services or any item outlined in Exclusions/Clarifications will be deemed as other additional services. If requested by the Town of Blowing Rock, we will provide other additional services per our Standard Fee Schedule.

Thank you for the opportunity to work with you on this project. If you have any questions concerning this proposal or any element of our work, please do not hesitate to contact me. If the

Shane Fox, Town Manager

February 28, 2022

Page 3 of 3

above is acceptable to you, please sign the acceptance line below and return a copy to our office as your notice to proceed.

Sincerely,

McGILL ASSOCIATES, P.A.



DOUGLAS CHAPMAN, PE

Hickory Office Manager

Enclosure: Standard Fee Schedule
Consulting Services Agreement

CC: Nick Huffman, PE, McGill

ACCEPTANCE:

This proposal is accepted this, the _____ day of _____ 2022.

TOWN OF BLOWING ROCK

Shane Fox, Town Manager

"This instrument has been preaudited in the manner required by the Local Government Budget and Fiscal Control Act."

Nicole Norman, Finance Director

Date



1216 BLOWING ROCK BLVD NE
PO BOX 112 • LENOIR, NC 28645

P. 828-758-2383
F. 828-758-2699

Name & Address BLOWING ROCK TOWN OF Blowing Rock Town Council PO Box 47 Blowing Rock, NC 28605-0047
Deliver To
Invoice Date: Mar 02, 2022
Invoice Number: 51285705
Account Number: 294734

Sold By: 114

Part Number	Description	Quantity	Unit Price	Extended Cost
	Main Street Overhead to Underground	1	\$66,781.25	EA \$66,781.25

Terms: Net 30 **Invoice Total:** **\$66,781.25**

Notes: Placing three-phase & single-phase electric facilities underground on Main St in Blowing Rock and retiring existing overhead electric facilities.
Job # 787898.

BLUE RIDGE ELECTRIC MEMBERSHIP CORPORATION • BLUE RIDGE ENERGIES, LLC

CALDWELL DISTRICT OFFICE
100 COOPERATIVE WAY • LENOIR, NC 28645
P. 828-754-9071 • F. 828-754-9870

WATAUGA DISTRICT OFFICE
2491 US HWY 421 SOUTH • BOONE, NC 28607
P. 828-264-8894 • F. 828-264-6822

3
2375 NC HWY 163 • WEST JEFFERSON, NC 28694
P. 336-846-7138 • F. 336-846-3571

ASHE DISTRICT OFFICE
1889 HWY 21 SOUTH • SPARTA, NC 28675
P. 336-372-4646 • F. 336-372-7167



Cost Estimate Invoice

Blue Ridge Electric Membership Corporation
DBA Blue Ridge Energy
Corporate Office
1216 Blowing Rock Blvd.
PO Box 112
Lenoir, NC 28645

Date: 3/2/2022

Location: 100 Cooperative Way, Lenoir, NC 28645

Prepared By: Mike High

Prepared for:

Name: Town of Blowing Rock

Address: 1036 Main Street, P.O. Box 47
Blowing Rock, NC 28605

Phone: 828-759-8928

Account # 107.2000

Job Number: 787898

Job Description:		Project Estimate: \$1,335,625.00
Placing three-phase and single-phase electric facilities underground on Main Street in Blowing Rock and retiring existing overhead electric facilities. The cost breakdown is attached.		
		Engineering Fee (5%) to be invoiced (#51285705)
		\$66,781.25
		Tax %:
<i>Conditions resulting in additional expense to the cooperative shall be paid to the cooperative by the owner/developer.</i>		Amount Remaining: \$1,268,843.75

Blue Ridge Energy Phone Numbers

Alleghany: 336-372-4646
Ashe: 336-246-7138
Caldwell: 828-754-9071
Watauga: 828-264-8894
Wilkes: 336-838-1655

Acct. # 107.20 – Non Refundable
Acct. # 235.10 – Refundable

Cost estimate is guaranteed for 90 days from date above ONLY and must be paid before the job is scheduled. These costs are for Blue Ridge Energy facilities only and do not include any cost for relocation of telephone or cable television facilities.

Remit payment to: Blue Ridge Electric Membership Corporation
DBA Blue Ridge Energy
PO Box 112
Lenoir, NC 28645

Check # _____
 Cash

Blowing Rock Underground Plan

(11-08-2021)

PME	6	50000	\$300,000.00
SW Cab	6	5000	\$30,000.00
Secondary Pedestals	8	1500	\$12,000.00
Three Phase Pad	6	15000	\$90,000.00
Single Phase Pad	8	3500	\$28,000.00
1000URD	7845	25	\$196,125.00
1/0URD	13530	10	\$135,300.00
Secondary	1140	10	\$11,400.00
Conduit	30780	10	\$307,800.00
Retirement			\$100,000.00
Contingencies			\$125,000.00
<hr/>			
BRE Estimate			\$1,335,625.00
Engineering Fee (5%)			\$66,781.25



To: Shane Fox, Mayor Sellers, and Members of Town Council
From: Nicole Norman, Finance Officer
Subject: Budget Amendment Ordinance to Account for Various Items
(Ordinance #2022-05)
Date: March 8, 2022

Enclosed please find a Budget Amendment Ordinance for the fiscal year 2021-2022 for your consideration.

Section 1 (General Fund) appropriates and transfers fund balance to the General Capital Projects Fund for Main St. Underground Utility plan design (\$117,000). This includes costs for McGill Engineers as well as Blue Ridge Energy.

Section 2 (General Capital Projects Fund) transfers fund balance to the General Capital Projects Fund for Main St. Underground Utility plan design (\$117,000). This includes costs for McGill Engineers as well as Blue Ridge Energy.

Please let me know if you need further details on the proposed amendment.

**2021-2022
Budget Amendment Ordinance 2022-05**

Be it ordained by the Town Council of the Town of Blowing Rock, North Carolina, that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2022:

Section 1. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-4200-505	Transfer to Capital Projects	\$ 590,000	\$ -	\$ 117,000	\$ 707,000

This will result in a net increase of \$117,000. in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-399	Fund Balance Appropriated	\$ 618,696	\$ -	\$ 117,000	\$ 735,696

Section 2. To amend the General Capital Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
20-20-5000-255	Underground Utilities Plan Design	\$ -	\$ -	\$ 117,000	\$ 117,000

This will result in a net increase of \$117,000 in the appropriations of the General Capital Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
20-00-3400-331	Transfer from General Fund	\$ 2,060,010	\$ -	\$ 117,000	\$ 2,177,010

Section 3. Copies of this budget amendment shall be furnished to the Clerk to the Town Council and to the Finance Officer for their implementation.

Adopted this 8th day of March, 2022.

Attested by:

Charles Sellers, Mayor

Hilari Hubner, Town Clerk

Town of Blowing Rock

Request for Council Action

FROM: Jennifer Brown, Director of Parks & Recreation
SUBJECT: 2022 Summer Day Camp Fees
TO: Town Council
DATE: March 8, 2022
REQUESTED BY: Blowing Rock Parks & Recreation

BACKGROUND:

For over twelve years our Summer Day Camp fee for Blowing Rock taxpayers has been \$70 per week. This includes childcare each day from 7:30 a.m. to 5:30 p.m., camp supplies, a field trip, pool time, and camp shirt. With the growing cost of goods and services, as well as the increase in hourly wages for employees, we are recommending that we increase camp fees to \$100 per week beginning this summer.

We have compared our fees to other summer day camps offered in and around our area. We are significantly lower than all of them. Our summer camp will only be offered to Town employee children and Blowing Rock taxpayers. Attached is a price comparison of each camp and the national average of summer camps.

ATTACHMENTS:

1. Price Comparison

Revenue			
BR Taxpayer Fee per week per child	45 kids per week for 8 weeks		Total
Proposed \$100	\$36,000		\$36,000
Current \$70	\$25,200		\$25,200

Expenditures			
Field Trips for 8 weeks	Materials for 8 weeks	Camp Counselors (7 counselors)	
\$10,000	\$4,000		\$22,000

Proposed	Revenue - \$36,000	Expenditures - \$36,000	Cost - \$0
Current	Revenue - \$25,200	Expenditures - \$36,000	Cost - \$10,800

Current Summer Camp Fees Comparison			
Camps	Member Cost	Non-Member Cost	
Blowing Rock Parks & Recreation	\$70	\$120	
Watauga Parks & Recreation	\$125	\$125	
Deer Valley	\$275	\$350	
Beech Mountain Summer Camp	\$240	\$290	
Lenoir Summer Fun Camp	\$250	\$375	
NCCAMPS-NCYCA (2017)	\$215	\$425	



Total
\$36,000

Lunch	Field Trips	Hours of Operation
Not Provided	Y	7:30-5:30
School System	Y	7:30-5:30
Not Provided	Y	8:30-5:30
Not Provided	Y	8:00-5:00
Provided(Local Restaurants donate lunch each day)	Y	9:00-4:00
Usually	Y	8:00-5:00