

Blowing Rock Planning Board

STAFF REPORT

Project: SUP 2025-01 Hampton Inn Hotel
Meeting Date: September 18, 2024
Applicant: Trip Hospitality USA, LLC
Staff: Kevin Rothrock, Planning Director

REQUEST

Trip Hospitality USA, LLC is requesting a Special Use Permit for the construction of a 98-room Hampton Inn hotel and a 200-seat banquet hall. The proposed development is located at 986 Ransom Street, situated at the corner of Valley Boulevard and Ransom Street. The 2.076-acre property, currently zoned GB, General Business, includes a vacant brick house. Access to the property is planned via a single driveway on Ransom Street. The property is also identified by Watauga County PIN 2817-04-9465-000 and is within the WS-IV-PA Water Supply Watershed.

SITE PLAN

The main entry into the hotel lobby is on the east side of the property near Valley Blvd. Hotel guest drop-off is available at the porte cochere with a few parking spaces immediately adjacent to the entrance. The remainder of the hotel parking is under the hotel in a 3-level parking garage.

The rear (west side) of the hotel has a drive access for fire apparatus and dead ends into the dumpster enclosure.

Since the hotel building height exceeds 35 feet, the applicable building setbacks are increased. Instead of a 20-foot street setback a 40-foot street setback is required from Valley Blvd and Ransom Street. Accordingly, the side and rear setbacks are increased from 8 feet to 16 feet. The proposed hotel meets the required setbacks.

ACCESS

Access to the site will be through a single driveway off of Ransom Street. NCDOT will not permit access to the site from Valley Blvd due to its proximity with the intersection of Ransom Street. To discourage left turns from the site onto Ransom Street a sign specifying “No left turns” is required.

PARKING

The 98 hotel rooms requires 98 parking spaces. The 200-seat banquet hall requires 1 parking space for every 4 seats for a total of 50 parking spaces. Overall, the hotel requires 148 parking spaces with 5 being ADA accessible. The proposed hotel project provides 162 parking spaces with 11 exterior being located near the front entrance.

WATERSHED/IMPERVIOUS SURFACES

With this property located in the WS-IV water supply watershed, impervious surfaces are limited to 36%. However, for projects located in the GB, CB, and O-I zoning districts a special intensity allocation can be approved that would allow up to 70% of the site to be impervious. When the impervious surfaces are allowed to exceed 36%, the storm water detention requirements are increased.

The Applicant is requesting the proposed project be allowed a special intensity allocation of up to 44% impervious, an increase of 8%.

STORMWATER MANAGEMENT

There is some surface water that currently collects below Valley Blvd into a ditch that is picked up in a catch basin and piped across Ransom Street. All other storm water will be generated from the hotel building, driveway and parking area. This storm water will be collected and detained under the rear access drive before being released in a controlled manner to Ransom Street. From the edge of the street new drainage pipe and structures will be installed along Ransom Street to convey storm water to the existing drainage pipes near Grove Way.

APPEARANCE/PERSPECTIVE

The four main levels of the hotel are in a horseshoe shape with a courtyard in the center of the building that opens toward the rear property line.

The proposed hotel is essentially 4 stories from the main entrance level. The building is 50 feet tall measured from the grade at the primary entrance. The finished grade on the southeast corner of the building has the appearance of 3 stories but the southwest corner shows all 4 levels above grade.

On the rear and northwest side nearest Ransom Street, the building will appear as 6 stories from the base of the wall and approximately 70 to 72 feet from the ground to the highest point of the roof. What is not seen from the exterior of the building is the lowest level of the parking garage which is completely below grade.

The appearance of the hotel differs significantly depending on what side it is being viewed. The front entrance near Valley Blvd actually sits about 8 feet below the existing road elevation. But the appearance of the rear of the building along Ransom Street will be quite different. The elevation of Ransom Street on the lower side of the property is

3568 while the base of the lower retaining wall is 3578, top of wall at 3589, base of hotel wall at 3590 and top of roof at 3660 based on the grading plans and building elevations provided. With this elevation change the hotel will have an effective appearance of being approximately 90 feet tall from the lower side of Ransom Street.

To offset this appearance of substantial height, staff recommends preservation of nearly all of the existing vegetation on the northwest corner of the property, except where required for utilities or sidewalk, and require significant trees and plantings in the area between the street and the lower retaining wall.

BUILDING MATERIALS

Over the course of the past three years working with the architect and development team, the proposed building design has come a long way. The proposed plans, elevations, and materials are very different from the original proposal. The first building was all brick and rectangular in shape.

The building being considered has no brick but instead has a random ashlar pattern stone, board and batten and lap siding, and architectural roofing shingles. They have incorporated decorative dormers and larger eave overhangs with wood bracket accents into the design. Covered porch balconies are included on some of the rooms. Covered entries and exits have heavy timber beams and rafters.

LANDSCAPING AND BUFFERS

A 16-foot wide opaque landscape buffer is required on the south and west property lines. An 8-foot semi-opaque buffer is required along Ransom Street and Valley Blvd. The proposed landscape plan meets the buffer requirements of the Land Use Ordinance.

In areas of the site where the buffering should be the most effective, staff recommends staggering the planting of evergreen trees or shrubs in two rows to provide buffer depth. This would be along the southern and western property lines where the proposed hotel abuts residential uses.

ATTACHMENTS

1. SUP Application
2. Aerial vicinity map
3. Revised site plan
4. Property survey, preliminary site plan and civil plan package
5. Building elevations, renderings, and floor plan (powerpoint pdf)
6. Material Board
7. Letter from NCDOT
8. Email from Laura Cheek

TOWN OF BLOWING ROCK
APPLICATION FOR SPECIAL USE PERMIT

1. Applicant Name: Trip Hospitality USA, LLC

Address: 2204 Sullenberger Way, Flower Mound, TX 75028

Phone: (214) 592-3244 Fax: Email: gourijsoshi@hotmail.com

2. Is Applicant a corporation? X Yes No

If yes, list the name of the president of the corporation: Sagun Dahal

If yes, list the name of the secretary of the corporation:

3. Is Applicant a limited liability corporation (LLC)? X Yes No

If yes, list the name of the manager of the corporation: Gouri R. Joshi (Operating Director)

4. Is Applicant a partnership? Yes X No

If yes, list the names of the partners:

5. Is Applicant a proprietorship? Yes X No

If yes, list the name(s) of the proprietor(s):

PARID: 2817049465000/Map #: 2817-04-9465-000

6. Tax Parcel Number(s): <https://tax.watgov.org/watauganc/Datalet.aspx?sIndex=0&idx=1>

Owner(s) of Record: Trip Hospitality USA, LLC

Deed Book and Page Number: DB: 2208 / PG: 394

7. Location of property: 986 Ransom Street, Blowing Rock, NC 28605

8. Current zoning classification of subject property: GB (General Business District)

Proposed zoning classification of subject property, if applicable: Conditional to Existing GB

9. Is property located in protected watershed? X Yes No

If yes, classification of protected watershed: X Class IV Class II

10. Size of property: 2.076 acres or square feet.

TOWN OF BLOWING ROCK
APPLICATION FOR SPECIAL USE PERMIT

11. Gross floor area of existing buildings: 3,000 +/- square feet.

Gross floor area of proposed buildings: 67,500 Hotel square feet / 73,100SF Parking Garage

12. A Special Use Permit is requested for the following: _____

A four-story / 98 guest room hotel with a 200-seat banquet hall

13. If single-family residential development: N/A

Proposed name of subdivision: _____

Number of lots proposed to be created: _____

Smallest lot: _____ square feet. Average lot: _____ square feet.

14. If multi-family residential development:

Proposed name of development: _____

Number of one-bedroom units: _____ Number of two-bedroom units: _____

Number of three-bedroom units: _____ Number of four-bedroom units: _____

15. Percentage of impervious surface (if applicable): 44.80 %.

Impervious Surface Area Calculations

The following calculations should also be shown on the site plan and preliminary subdivision plans. These calculations are essential in the consideration of the request for a Special Use Permit:

Total Area (Square Feet of Subject Property)	<u>90,430.56</u>
Minus Impervious Area in Square Feet Existing Prior to September 15, 1993 (Date of Ordinance)	<u>- 5,408</u>
Equals Net Area of Subject Property	<u>85,022.56</u>
Times Percent of Impervious Area Allowed (See Permitted Allowances Listed Below)	<u>X (70%) 59,515.79</u>
<u>[Multi-family residential: 24% impervious area (up to 34% with variance)</u> <u>Non-residential development: 24% impervious area in locations that have curb and gutter (up to 70% if approved as Special Intensity Allocation)</u> <u>Non-residential development: 36% impervious area in locations without curb and gutter (up to 70% if approved as Special Intensity Allocation)]</u>	

TOWN OF BLOWING ROCK
APPLICATION FOR SPECIAL USE PERMIT

<u>Minus</u> Impervious Area (in Square Feet) Added After September 15, 1993	- 0
<u>Equals</u> Net Impervious Allowance	59,515.79
<u>Proposed</u> Impervious Area to Be Added as Part of Proposed Development (Must Be Less Than Net Impervious Area Allowance)	59,515.79

16. Name of Engineer: Timothy S. Kennerly, PE

Address: 12133-F N. NC Hwy 150, Winston Salem, NC 27127 Phone: (336) 775-2118

Name of Surveyor: New River Land Surveying / Alexander W. Crowe, PLS

Address: 1608 NC Hwy 194, Boone, NC 28607 Phone: (828) 268-9779

Name of Land Planner: Timothy S. Kennerly, PE

Address: 12133-F N. NC Hwy 150, Winston Salem, NC 27127 Phone: (336) 775-2118

Attached is a site plan showing all existing and proposed improvements as required by the Blowing Rock Land Use Code. Where said plans are in conflict with the provisions of the Land Use Code, I acknowledge that the provisions of the Land Use Code shall prevail, except as specifically provided in any Special Use Permit that may be issued by the Town Council. Any deviations from or changes in the plans after submission must be pointed out to the Administrator in writing and specific written approval must be obtained as provided in the Blowing Rock Land Use Code.

Signature of Applicant:  Date: 02/07/2025

Representing: Trip Hospitality USA, LLC

Signature of Property Owner: _____ Date: _____

Signature of Property Owner: _____ Date: _____

Signature of Property Owner: _____ Date: _____

For Staff Use Only

Date Application Was Received: 2-7-25 Initials: JKR

Date Paid: 2-21-25 Amount Paid: \$1,000 Case Number: SUP 2025-01

SUP 2025-01

Hampton Inn Hotel



THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC., AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINE, PIPE, ETC., BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING AND PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.

THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.

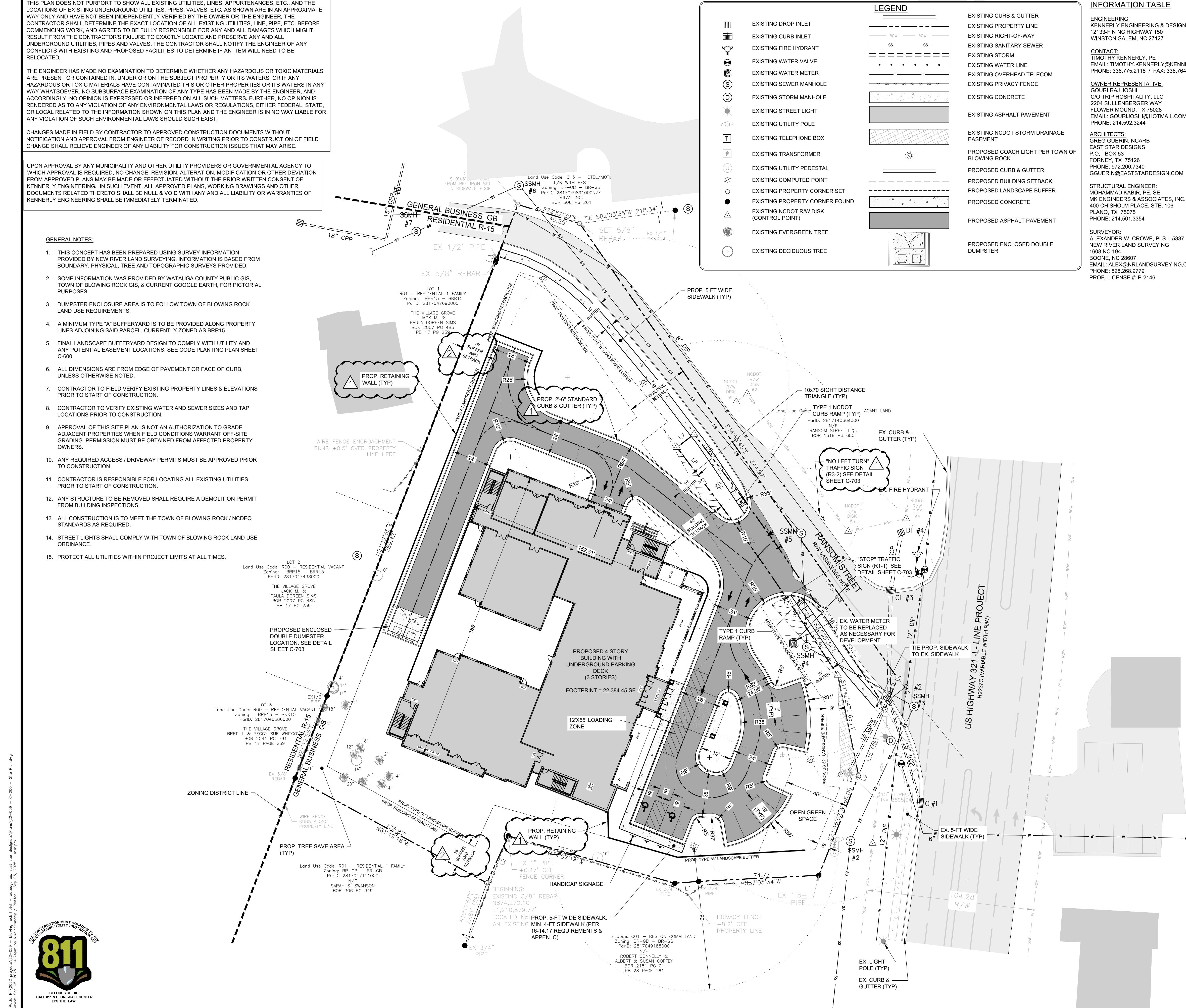
CHANGES MADE IN FIELD BY CONTRACTOR TO APPROVED CONSTRUCTION DOCUMENTS WITHOUT NOTIFICATION AND APPROVAL FROM ENGINEER OF RECORD IN WRITING PRIOR TO CONSTRUCTION OF FIELD CHANGE SHALL RELIEVE ENGINEER OF ANY LIABILITY FOR CONSTRUCTION ISSUES THAT MAY ARISE.

UPON APPROVAL BY ANY MUNICIPALITY AND OTHER UTILITY PROVIDERS OR GOVERNMENTAL AGENCY TO WHICH APPROVAL IS REQUIRED, NO CHANGE, REVISION, ALTERATION, MODIFICATION OR OTHER DEVIATION FROM APPROVED PLANS MAY BE MADE OR EFFECTUATED WITHOUT THE PRIOR WRITTEN CONSENT OF KENNERLY ENGINEERING. IN SUCH EVENT, ALL APPROVED PLANS, WORKING DRAWINGS AND OTHER DOCUMENTS RELATED THERETO SHALL BE NULL & VOID WITH ANY AND ALL LIABILITY OR WARRANTIES OF KENNERLY ENGINEERING SHALL BE IMMEDIATELY TERMINATED.

GENERAL NOTES:

1. THIS CONCEPT HAS BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY NEW RIVER LAND SURVEYING. INFORMATION IS BASED FROM BOUNDARY, PHYSICAL, TREE AND TOPOGRAPHIC SURVEYS PROVIDED.
2. SOME INFORMATION WAS PROVIDED BY WATAUGA COUNTY PUBLIC GIS, TOWN OF BLOWING ROCK GIS, & CURRENT GOOGLE EARTH, FOR PICTORIAL PURPOSES.
3. DUMPSTER ENCLOSURE AREA IS TO FOLLOW TOWN OF BLOWING ROCK LAND USE REQUIREMENTS.
4. A MINIMUM TYPE "A" BUFFERYARD IS TO BE PROVIDED ALONG PROPERTY LINES ADJOINING SAID PARCEL, CURRENTLY ZONED AS BRR15.
5. FINAL LANDSCAPE BUFFERYARD DESIGN TO COMPLY WITH UTILITY AND ANY POTENTIAL EASEMENT LOCATIONS. SEE CODE PLANTING PLAN SHEET C-600.
6. ALL DIMENSIONS ARE FROM EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO FIELD VERIFY EXISTING PROPERTY LINES & ELEVATIONS PRIOR TO START OF CONSTRUCTION.
8. CONTRACTOR TO VERIFY EXISTING WATER AND SEWER SIZES AND TAP LOCATIONS PRIOR TO CONSTRUCTION.
9. APPROVAL OF THIS SITE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS.
10. ANY REQUIRED ACCESS / DRIVEWAY PERMITS MUST BE APPROVED PRIOR TO CONSTRUCTION.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
12. ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.
13. ALL CONSTRUCTION IS TO MEET THE TOWN OF BLOWING ROCK / NCDEQ STANDARDS AS REQUIRED.
14. STREET LIGHTS SHALL COMPLY WITH TOWN OF BLOWING ROCK LAND USE ORDINANCE.
15. PROTECT ALL UTILITIES WITHIN PROJECT LIMITS AT ALL TIMES.

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Sheet: 05 - 2025 - 4/48pm
Revised: 05/05/2025
Printed: 05/05/2025

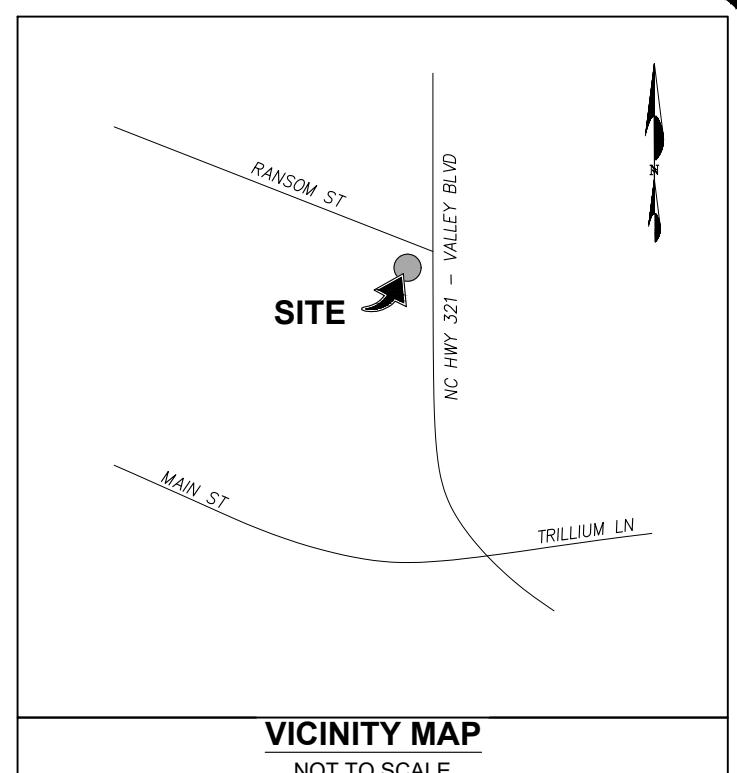


**PRELIMINARY
DRAWING
FOR REVIEW ONLY**

HAMPTON INN HOTEL - BLOWING ROCK
BLOWING ROCK, NORTH CAROLINA, 28605
FOR EAST STAR DESIGN, LLC
P.O. BOX 53
FORNEY, TX 75126
PHONE: 972.200.7340

**PRELIMINARY
CONDITIONAL PERMIT PLANS
FOR
HAMPTON INN HOTEL - BLOWING ROCK**

8538 RANSOM STREET, BLOWING ROCK, NORTH CAROLINA, 28605



FOR

EAST STAR DESIGN, LLC
P.O. BOX 53
FORNEY, TX 75126
PHONE: 972.200.7340

INDEX OF DRAWINGS

DESCRIPTION	DRAWING No.
COVER SHEET	-
EXISTING CONDITIONS	C-100
SITE PLAN	C-200
EROSION CONTROL PLAN - PHASE 1	C-300
EROSION CONTROL PLAN - PHASE 2	C-301
GRADING PLAN	C-302
PLAN & PROFILE	C-400
UTILITY PLAN	C-500
CODE PLANTING PLAN	C-600
DETAILS	C-700
DETAILS	C-701
DETAILS	C-702
DETAILS	C-703
DETAILS	C-704
DETAILS	C-705

JANUARY 2025



12133 North HWY 150, Suite F
Winston-Salem, NC 27127
Phone: 336.775.2118 FAX: 336.764.0797
North Carolina License No. C-3900



**PRELIMINARY
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22-059
AMPTON INN HOTEL -
BLOWING ROCK

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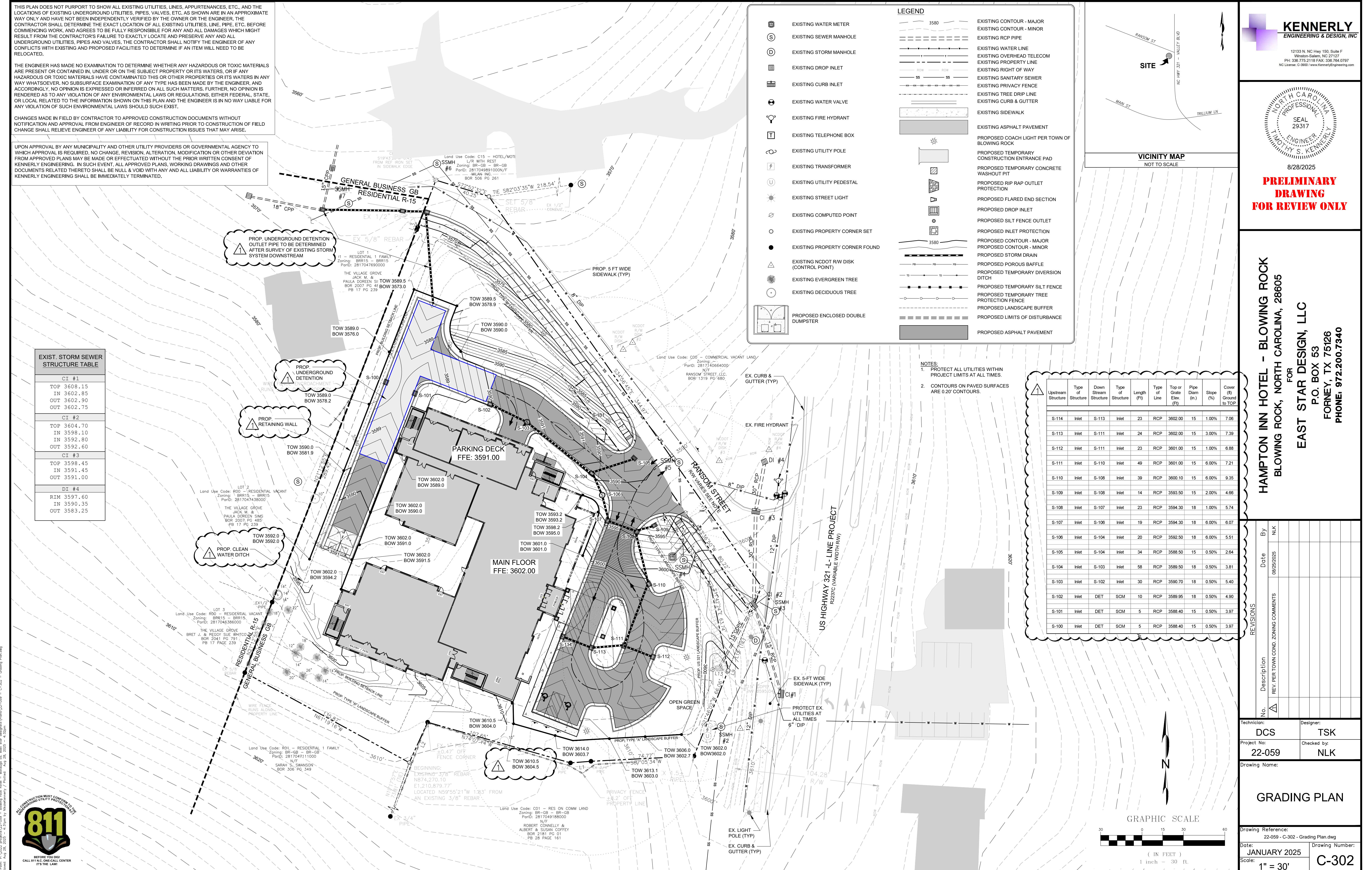
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EXIST. STORM SEWER STRUCTURE TABLE	
CI #1	
TOP 3609.15	IN 3602.85
OUT 3602.90	OUT 3602.75
CI #2	
TOP 3604.70	IN 3598.10
IN 3592.80	OUT 3592.60
CI #3	
TOP 3598.45	IN 3591.45
OUT 3591.00	
DI #4	
RIM 3597.60	IN 3590.35
OUT 3583.25	

Print: P-10022 - 2025-052-050 - Blowing Rock, NC - Sheet 10 of 10 - Printed: Aug 28, 2025 - 4:39pm
Source: AutoCAD 2025 - 3D
811 CONSTRUCTION MUST CONFORM TO THE
811
BEFORE YOU DIG
CALL 811 N.C. ONE-CALL CENTER
IT'S THE LAW!



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SANITARY SEWER STRUCTURE TABLE

SSMH #1	SSMH #2	SSMH #3
RIM 3606.05	RIM 3598.06	RIM 3604.93
IN 3602.45	IN 3595.00	IN 3597.76
OUT 3602.27	OUT 3594.47	OUT 3597.65
SSMH #4	SSMH #5	SSMH #6
RIM 3598.40	RIM 3590.90	RIM 3565.04
IN 3590.91	IN 3585.20	IN 3560.65
IN 3590.77	OUT 3585.15	IN 3557.58
OUT 3590.61		IN 3556.68
		OUT 3556.68

SSMH #7
RIM 3566.22
IN 3562.06
IN 3562.03
OUT 3561.91

STORM SEWER STRUCTURE TABLE

CI #1
TOP 3608.15
IN 3602.85
OUT 3602.90
OUT 3602.75
CI #2
TOP 3604.70
IN 3598.10
IN 3592.80
OUT 3592.60
CI #3
TOP 3598.45
IN 3591.45
OUT 3591.00
DI #4
RIM 3597.60
IN 3590.35
OUT 3583.25

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Source: Aug 26, 2025 - All 11pm by BlowingRockEngineering / Printed: Aug 26, 2025 - All 11pm by BlowingRockEngineering



BEFORE YOU DIG
CALL 811 N.C. ONE-CALL CENTER
IT'S THE LAW!

CP LOCATED
S19°43'10"W 043°
FROM REF IRON SET
IN SIDEWALK EDGE
Land Use Code: C15 - HOTEL/MOTEL
#6 Zoning: BR-GB - BR-GB
Part: 2817049891000N/F
MILAN INC.
BOR 306 PG 261

GENERAL BUSINESS GB
RESIDENTIAL R-15
EX 1/2" PIPE
EX 5/8" REBAR
PROP. 5 FT.
SIDEWALK (TYP)

LOT 1
Zoning: BR-1 R-15
Part: 2817047690000
THE VILLAGE GROVE
JACK M. &
PAULA DOREEN SIMS
BOR 2007 PG 485
PB 17 PG 239

EX. CURB &
GUTTER (TYP)
PROPOSED FIRE SERVICE
6" LINE WITH RPZ AND
METER PER TOWN OF
BLOWING ROCK.

Land Use Code: C00 - COMMERCIAL VACANT LAND
Zoning: N/F
Part: 2817140664000
RANSOM STREET LLC.
BOR 1319 PG 680

NOTE:
PROTECT ALL UTILITIES WITHIN
PROJECT LIMITS AT ALL TIMES.

WIRE FENCE ENCROACHMENT
RUNS $\pm 0.5'$ OVER PROPERTY
LINE HERE

PROPOSED BUILDING SETBACK LINE
PROPOSED TYPE 'A' LANDSCAPE BUFFER

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #2

SSMH #5
PROP. 3" WATER
METER, RPZ AND
SERVICE PER TOWN OF
BLOWING ROCK.

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #3

CI #3
EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

EX. CURB &
GUTTER (TYP)
EX. FIRE HYDRANT
NCDOT R/W DISK #4

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GUTTER (TYP)
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NCDOT R/W DISK #4

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THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC. AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC. AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINE, PIPE, ETC. BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING AND PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.

THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.

CHANGES MADE IN FIELD BY CONTRACTOR TO APPROVED CONSTRUCTION DOCUMENTS WITHOUT NOTIFICATION AND APPROVAL FROM ENGINEER OF RECORD IN WRITING PRIOR TO CONSTRUCTION OF FIELD CHANGE SHALL RELEASE ENGINEER OF ANY LIABILITY FOR CONSTRUCTION ISSUES THAT MAY ARISE.

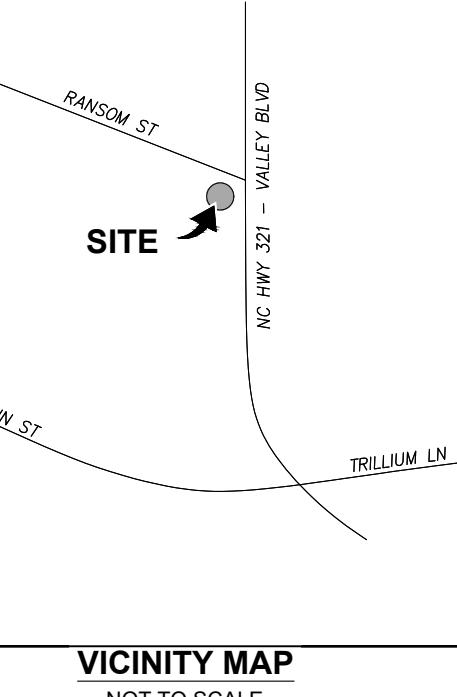
UPON APPROVAL BY ANY MUNICIPALITY AND OTHER UTILITY PROVIDERS OR GOVERNMENTAL AGENCY TO WHICH APPROVAL IS REQUIRED, NO CHANGE, REVISION, ALTERATION, MODIFICATION OR OTHER DEVIATION FROM APPROVED PLANS MAY BE MADE OR EFFECTUATED WITHOUT THE PRIOR WRITTEN CONSENT OF KENNERLY ENGINEERING. IN SUCH EVENT, ALL APPROVED PLANS, WORKING DRAWINGS AND OTHER DOCUMENTS RELATED THERETO SHALL BE NULL & VOID WITH ANY AND ALL LIABILITY OR WARRANTIES OF KENNERLY ENGINEERING SHALL BE IMMEDIATELY TERMINATED.

GUIDE FOR PROTECTING EXISTING TREES:

1. PROTECT TREES WITH FENCING AND ARMORING DURING THE ENTIRE CONSTRUCTION PERIOD. THE FENCE SHOULD ENCLOSE AN AREA TEN FEET SQUARE WITH THE TREE AT THE CENTER.
2. AVOID EXCAVATIONS BEATHNE THE CROWN OF THE TREE AS REQUIRED BY SECTION 16-22.15.
3. AVOID COMPACTION OF THE SOIL AROUND EXISTING TREES DUE TO HEAVY EQUIPMENT. DO NOT PILE DIRT OR OTHER MATERIALS BEATHNE THE CROWN OF THE TREE.
4. KEEP FIRES OR OTHER SOURCES OF EXTREME HEAT WELL CLEAR OF EXISTING TREES.
5. REPAIR DAMAGED ROOTS AND BRANCHES IMMEDIATELY. EXPOSED ROOTS SHOULD BE COVERED WITH TOPSOIL. SEVERED LIMBS AND ROOTS MAY BE PAINTED. WHENEVER ROOTS ARE DESTROYED, A PROPORTIONAL AMOUNT OF BRANCHES MUST BE PRUNED SO THE TREE DOESN'T TRANSPIRE MORE WATER THAN IT TAKES IN. INJURED TREES MUST BE THOROUGHLY WATERED DURING THE ENSUING GROWING YEAR.
6. ALL EXISTING TREES WHICH WILL BE SURROUNDED BY PAVING SHOULD BE PRUNED TO PREVENT DEHYDRATION.
7. AS IS STIPULATED IN SECTION 16-22.15.3 NO PAVING OR OTHER IMPERMEABLE GROUND COVER SHOULD BE PLACED WITHIN THE DRIPLINE OF TREES TO BE RETAINED.

GUIDE FOR PLANTING TREES:

1. THE BEST TIMES FOR PLANTING ARE EARLY SPRING AND EARLY FALL. TREES PLANTED IN THE SUMMER RUN THE RISK OF DEHYDRATION.
2. PLANT ALL TREES AT LEAST THREE-AND-A-HALF FEET FROM THE END OF HEAD-IN-FAIRWAY SPACES AND FROM THE END OF OVERHANGS.
3. DIG THE TREE PIT AT LEAST ONE FOOT WIDER THAN THE BALL'S VERTICAL DIMENSION.
4. ESPECIALLY IN AREAS WHERE CONSTRUCTION ACTIVITY HAS COMPACTED THE SOIL, THE BOTTOM OF THE PIT SHOULD BE SCARIFIED OR LOOSENED WITH A PICK AX OR SHOVEL.
5. AFTER THE PIT IS DUG, OBSERVE SUB-SURFACE DRAINAGE CONDITIONS. WHERE POOR DRAINAGE EXISTS, THE TREE PIT SHOULD BE DUG AN ADDITIONAL TWELVE INCHES AND THE BOTTOM SHOULD BE FILLED WITH COARSE GRAVEL.
6. BACKFILL SHOULD INCLUDE A PROPER MIX OF SOIL, PEAT MOSS, AND NUTRIENTS. ALL ROOTS MUST BE COMPLETELY COVERED. BACKFILL SHOULD BE THOROUGHLY WATERED AS SOON AS IT IS PLACED IN THE PITS.
7. IMMEDIATELY AFTER IT IS PLANTED, THE TREE SHOULD BE SUPPORTED WITH STAKES AND GUY WIRES TO FIRMLY HOLD IT IN PLACE AS ITS ROOT SYSTEM BEGINS TO DEVELOP. STAKED TREES WILL BECOME STRONGER MUCH QUICKE.
8. SPREAD AT LEAST THREE INCHES OF MULCH OVER THE ENTIRE EXCAVATION IN ORDER TO RETAIN MOISTURE AND KEEP DOWN WEEDS. AN ADDITIONAL THREE-INCH SACKED MULCH SHOULD BE PROVIDED TO FORM A BASIN AROUND THE TRUNK OF THE TREE. THIS SAUCER HELPS CATCH AND RETAIN MOISTURE.
9. CONSCIENTIOUS POST-PLANTING CARE, ESPECIALLY WATERING, PRUNING, AND FERTILIZING, IS A MUST FOR STREET AND PARKING LOT TREES. BRANCHES OF NEW TREES MAY BE REDUCED BY AS MUCH AS A THIRD TO PREVENT EXCESSIVE EVAPORATION.
10. ALL REPLACEMENT TREES ARE REQUIRED TO BE A MINIMUM 3-INCH CALIPER WITH AN AVERAGE HEIGHT OF 12-15 FEET.



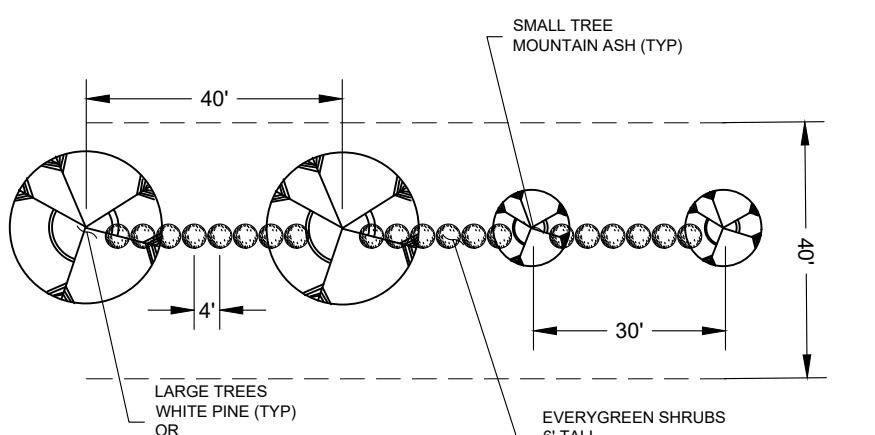
VICINITY MAP
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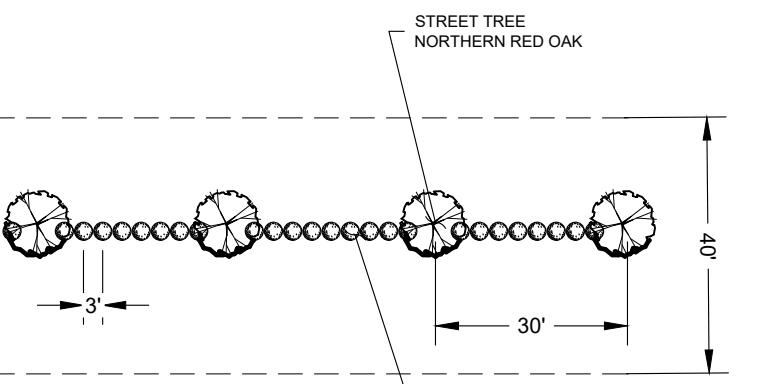
12133 N. NC Hwy 150, Suite F
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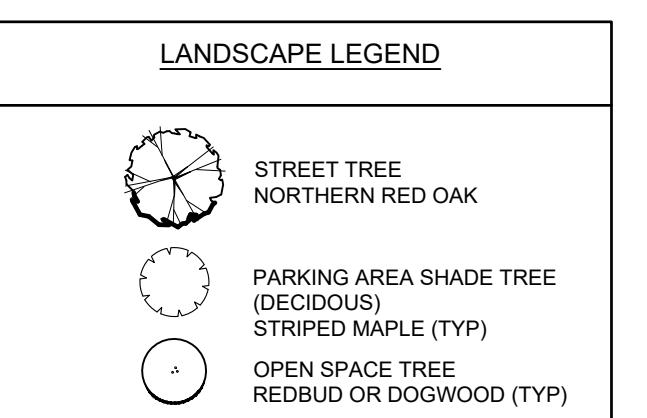
8/28/2025
PRELIMINARY
DRAWING
FOR REVIEW ONLY



TYPICAL OPAQUE BUFFER "A" DETAIL
NOT TO SCALE

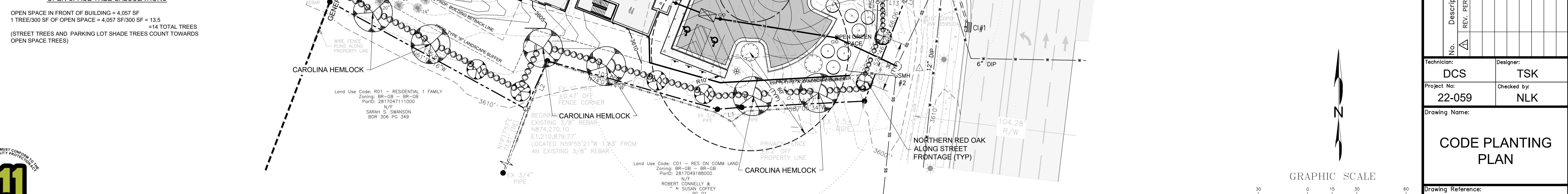


TYPICAL SEMI-OPAQUE BUFFER "B" DETAIL
(ALONG STREET FRONTEAGE OF RANSOM STREET AND US HWY 321)
NOT TO SCALE



OPEN SPACE TREE CALCULATIONS

OPEN SPACE IN FRONT OF BUILDING = 4,057 SF
1 TREE/300 SF OF OPEN SPACE = 4,057 SF/300 SF = 13.5
= 14 TOTAL TREES
(STREET TREES AND PARKING LOT SHADE TREES COUNT TOWARDS OPEN SPACE TREES)



LANDSCAPE INFORMATION:

1. PROPOSED 8' LANDSCAPE BUFFER ALONG US HWY 321 PER SECTION 16-21.10 OF THE TOWN OF BLOWING ROCK LAND USE CODE. NO DEVELOPMENT, GRADING, CLEARING, OR CONSTRUCTION ACTIVITY IS PERMITTED WITHIN THE BUFFER AREA OTHER THAN THE FOLLOWING EXCEPTIONS:
 - DRIVEWAYS PERPENDICULAR TO THE STREET RIGHT-OF-WAY.
 - IN-STREAM PUBLIC UTILITIES.
 - PEDESTRIAN AND BICYCLE PATHS.
 - LIGHTING FIXTURES.
 - SIGNS.
 - SIGHT DISTANCE TRIANGLES.
2. STREET TREES ALONG FRONTEAGE SHALL BE INSTALLED AT A RATE OF ONE TREE EVERY THIRTY (30) FEET, MIN. 3" CALIPER WHEN PLANTED.
3. SHADE TREES IN PARKING AREAS SHALL BE PRESUMED TO SHADE AN AREA 15' FROM THE TRUNK OF A TREE. 20% OF THE PARKING AREA SHALL BE SHADED.
4. NO PAVING SHALL BE PLACED WITHIN 6' OF A SHADE TREE DESIGNATED FOR THE PARKING AREA.
5. NO PARKING SPACE SHALL BE LOCATED FURTHER THAN 60' FROM A SHADE TREE.
6. A MINIMUM OF 75% OF THE OPEN SPACE AT THE FRONT OF THE BUILDING MUST BE PLANTED GREEN SPACE WITH AN EMPHASIS ON LARGE OVER-STORY SHADE TREES.
7. ONE (1) OVER-STORY TREE SHALL BE PLANTED FOR EVERY 300 SF OF GREEN SPACE.
8. ALL TREES WILL COMPLY WITH APPENDIX E OF THE TOWN OF BLOWING ROCK LAND USE ORDINANCE.

Formula for Calculating Shading of Paved Vehicle Accommodation Areas

1. Calculate square footage of the vehicle accommodation area. Include parking spaces, driveways, loading areas, sidewalks and other circulation areas. Do not include building areas and any areas which will remain completely undeveloped. 11,506 sq. ft.
2. Multiply: 20% Required shading
3. Area to be shaded: 2,301 sq. ft.
- Add:
4. Area shaded by existing trees to be retained in and around the vehicle accommodation area.* 0 sq. ft.
5. Area shaded by required screening trees, if any.* 0 sq. ft.
6. Area shaded by required street trees, if any.* 3X354 SF = (ESTIMATE 3 TREES IN US321 LANDSCAPE BUFFER) 1,062 sq. ft.
7. Subtotal 1,062 sq. ft.

(If Line 7 is greater than Line 3, then the shading requirement has been met. If not, go on to Line 8.)

8. Enter the difference between Line 7 and Line 3: 1,239 sq. ft.
9. Divide Line 8: + 707 sq. ft.
10. Total number of shade trees required within the vehicle accommodation area: 2 trees

* Existing trees retained in compliance with Section 16-22.15 will be credited according to their actual radius. Shaded area may be calculated as follows:

$$3.14 \times (\text{crown radius})^2 = \text{shaded area}$$

HAMPTON INN HOTEL - BLOWING ROCK
BLOWING ROCK, NORTH CAROLINA, 28605
FOR
EAST STAR DESIGN, LLC
P.O. BOX 53
FORNEY, TX 75126
PHONE: 972.200.7340

No.	Description	Date	By
△	REV. PER TOWN COND. ZONING COMMENTS	08/25/2025	NLK

Technician: DCS Designer: TSK
Project No: 22-059 Checked by: NLK
Drawing Name:

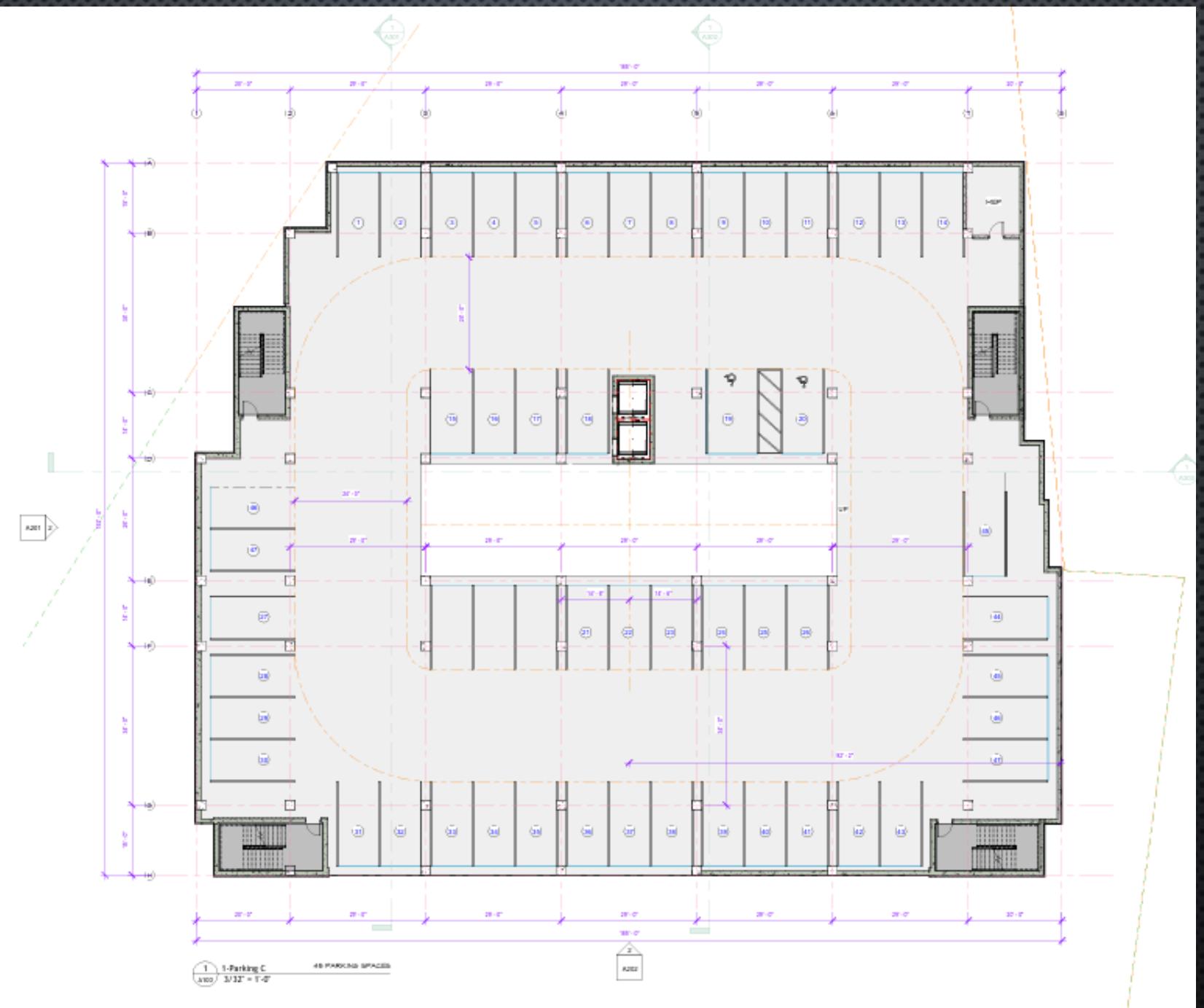
CODE PLANTING PLAN
Drawing Reference: 22-059 - C-600 - Code Planting Plan.dwg
Date: JANUARY 2025 Drawing Number: C-600
Scale: 1" = 30' (IN FEET)



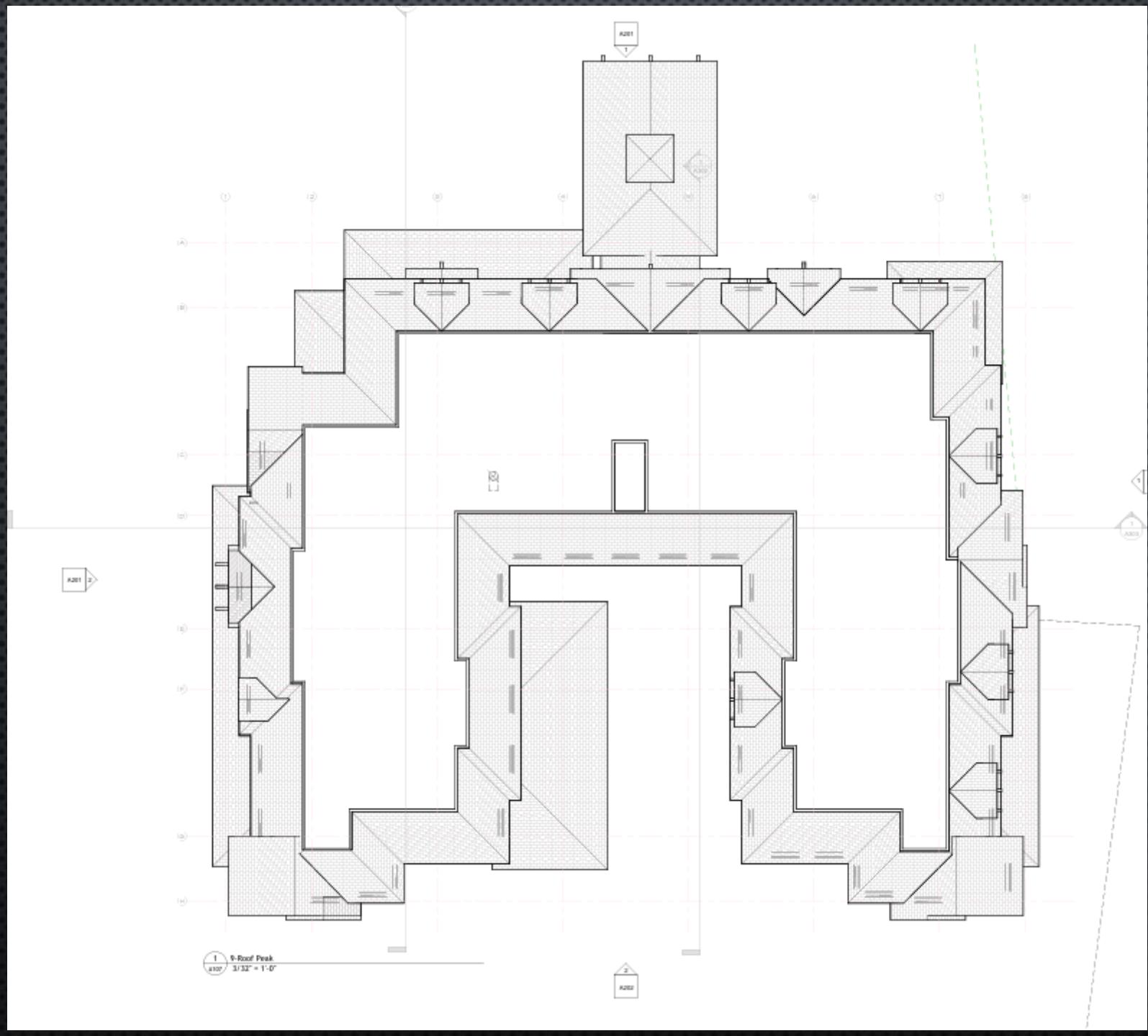














1 Section B

Hampton Inn Blowing Rock, NC

RF

GAF Timberline-Barkwood

CS

New Cast Stone

Pale Maize

FCB2

Sherwin Williams

Double Latte

FCB1

Sherwin Williams

Van Dyke Brown

P1

Sherwin Williams

Black Bean

STON

Cultured Stone-Cobblefield

Chardonnay



EAST STAR

DESIGN

ARCHITECTURE • INTERIOR DESIGN • PLANNING

Nikole Kennerly

From: Heavner, Kenneth H <khheavner@ncdot.gov>
Sent: Sunday, May 4, 2025 9:09 PM
To: Timothy Kennerly
Cc: Nikole Kennerly; Kyrie Henninger; Greg Guerin; Pruitt, Christopher D; Reese, Alexander W
Subject: RE: [External] 22-059 - Hampton Inn - Blowing Rock, NC
Attachments: R-2237C - Ransom ROW.pdf; 22-059 - C-302 - Grading Plan.pdf

Some people who received this message don't often get email from khheavner@ncdot.gov. [Learn why this is important](#)

Mr. Kennerly,

Please see the attached R-2237C plan sheet that shows right of way along US321 and Ransom Street at the subject location.

As for the proposed driveway connection to US321, the grading plan currently shows the radius of the proposed driveway connecting to the radius of Ransom Street. It may be possible to consider a RIRO connection to US321 if we could get a minimum of 100ft tangent length from driveway end of radius to Ransom St end of radius. It's our policy to maintain a separation between access points a desired minimum distance of 100ft. Also, with the development as proposed, I would be concerned about traffic potentially traveling against the flow of traffic to turn left through the median break creating an unsafe movement. The apparent safest connection to the highway system would be via Ransom Street. If reference to the NCDOT's Policy on Street and Driveway Access to NC Highways is needed, then I would start by referencing page 26 where it states "*The NCDOT may prohibit or restrict access to a State Highway System roadway if alternate access is available through other adjacent public facilities.*" Since access to the highway system can be adequately gained using Ransom St, we would not allow direct access to US321 as proposed.

Please let me know if anything additional is requested.

Thanks,

Kenny H. Heavner, PE
North Carolina Department of Transportation
Division 11
District Engineer – Boone

828-268-6026 office
khheavner@ncdot.gov



Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.

From: [Laura Cheek](#)
To: [Kevin Rothrock](#)
Subject: Public notice regarding development at Ransom and 321
Date: Wednesday, September 10, 2025 12:16:24 PM

You don't often get email from lauradcheek@outlook.com. [Learn why this is important](#)

Kevin, if you would please relay these comments to the planning board.

I am opposed to permitting the hotel development which is proposed for this property. Like many of my fellow citizens, I'm concerned about the significant increase in density of short term rental and hotel rooms we have already allowed in our small town. We do not have the resources to sustain more density without sacrificing quality of life for residents. Specifically, natural resources like water supply during drought periods. We often have to have water restrictions during dry spells at our historic density. It's irresponsible to keep increasing the demand for water.

Another resource we're in short supply of is parking. Unlike some of the boutique hotels downtown, this property will not be considered easily or conveniently walkable for the majority of people. We don't need to continue to permit projects that further contribute to what is a major problem for both residents and tourists alike.

Thanks for your consideration of my views.

Laura Cheek

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