

## **Blowing Rock Planning Board**

### **STAFF REPORT**

**Project:** SUP 2025-01 Hampton Inn Hotel  
**Meeting Date:** September 18, 2024  
**Applicant:** Trip Hospitality USA, LLC  
**Staff:** Kevin Rothrock, Planning Director

### **REQUEST**

Trip Hospitality USA, LLC is requesting a Special Use Permit for the construction of a 98-room Hampton Inn hotel and a 200-seat banquet hall. The proposed development is located at 986 Ransom Street, situated at the corner of Valley Boulevard and Ransom Street. The 2.076-acre property, currently zoned GB, General Business, includes a vacant brick house. Access to the property is planned via a single driveway on Ransom Street. The property is also identified by Watauga County PIN 2817-04-9465-000 and is within the WS-IV-PA Water Supply Watershed.

### **SITE PLAN**

The main entry into the hotel lobby is on the east side of the property near Valley Blvd. Hotel guest drop-off is available at the porte cochere with a few parking spaces immediately adjacent to the entrance. The remainder of the hotel parking is under the hotel in a 3-level parking garage.

The rear (west side) of the hotel has a drive access for fire apparatus and dead ends into the dumpster enclosure.

Since the hotel building height exceeds 35 feet, the applicable building setbacks are increased. Instead of a 20-foot street setback a 40-foot street setback is required from Valley Blvd and Ransom Street. Accordingly, the side and rear setbacks are increased from 8 feet to 16 feet. The proposed hotel meets the required setbacks.

### **ACCESS**

Access to the site will be through a single driveway off of Ransom Street. NCDOT will not permit access to the site from Valley Blvd due to its proximity with the intersection of Ransom Street. To discourage left turns from the site onto Ransom Street a sign specifying "No left turns" is required.

### **PARKING**

The 98 hotel rooms requires 98 parking spaces. The 200-seat banquet hall requires 1 parking space for every 4 seats for a total of 50 parking spaces. Overall, the hotel requires 148 parking spaces with 5 being ADA accessible. The proposed hotel project provides 162 parking spaces with 11 exterior being located near the front entrance.

## **WATERSHED/IMPERVIOUS SURFACES**

With this property located in the WS-IV water supply watershed, impervious surfaces are limited to 36%. However, for projects located in the GB, CB, and O-I zoning districts a special intensity allocation can be approved that would allow up to 70% of the site to be impervious. When the impervious surfaces are allowed to exceed 36%, the storm water detention requirements are increased.

The Applicant is requesting the proposed project be allowed a special intensity allocation of up to 44% impervious, an increase of 8%.

## **STORMWATER MANAGEMENT**

There is some surface water that currently collects below Valley Blvd into a ditch that is picked up in a catch basin and piped across Ransom Street. All other storm water will be generated from the hotel building, driveway and parking area. This storm water will be collected and detained under the rear access drive before being released in a controlled manner to Ransom Street. From the edge of the street new drainage pipe and structures will be installed along Ransom Street to convey storm water to the existing drainage pipes near Grove Way.

## **APPEARANCE/PERSPECTIVE**

The four main levels of the hotel are in a horseshoe shape with a courtyard in the center of the building that opens toward the rear property line.

The proposed hotel is essentially 4 stories from the main entrance level. The building is 50 feet tall measured from the grade at the primary entrance. The finished grade on the southeast corner of the building has the appearance of 3 stories but the southwest corner shows all 4 levels above grade.

On the rear and northwest side nearest Ransom Street, the building will appear as 6 stories from the base of the wall and approximately 70 to 72 feet from the ground to the highest point of the roof. What is not seen from the exterior of the building is the lowest level of the parking garage which is completely below grade.

The appearance of the hotel differs significantly depending on what side it is being viewed. The front entrance near Valley Blvd actually sits about 8 feet below the existing road elevation. But the appearance of the rear of the building along Ransom Street will be quite different. The elevation of Ransom Street on the lower side of the property is

3568 while the base of the lower retaining wall is 3578, top of wall at 3589, base of hotel wall at 3590 and top of roof at 3660 based on the grading plans and building elevations provided. With this elevation change the hotel will have an effective appearance of being approximately 90 feet tall from the lower side of Ransom Street.

To offset this appearance of substantial height, staff recommends preservation of nearly all of the existing vegetation on the northwest corner of the property, except where required for utilities or sidewalk, and require significant trees and plantings in the area between the street and the lower retaining wall.

## **BUILDING MATERIALS**

Over the course of the past three years working with the architect and development team, the proposed building design has come a long way. The proposed plans, elevations, and materials are very different from the original proposal. The first building was all brick and rectangular in shape.

The building being considered has no brick but instead has a random ashlar pattern stone, board and batten and lap siding, and architectural roofing shingles. They have incorporated decorative dormers and larger eave overhangs with wood bracket accents into the design. Covered porch balconies are included on some of the rooms. Covered entries and exits have heavy timber beams and rafters.

## **LANDSCAPING AND BUFFERS**

A 16-foot wide opaque landscape buffer is required on the south and west property lines. An 8-foot semi-opaque buffer is required along Ransom Street and Valley Blvd. The proposed landscape plan meets the buffer requirements of the Land Use Ordinance.

In areas of the site where the buffering should be the most effective, staff recommends staggering the planting of evergreen trees or shrubs in two rows to provide buffer depth. This would be along the southern and western property lines where the proposed hotel abuts residential uses.

## **ATTACHMENTS**

1. SUP Application
2. Aerial vicinity map
3. Revised site plan
4. Property survey, preliminary site plan and civil plan package
5. Building elevations, renderings, and floor plan (powerpoint pdf)
6. Material Board
7. Letter from NCDOT
8. Email from Laura Cheek

*TOWN OF BLOWING ROCK*  
**APPLICATION FOR SPECIAL USE PERMIT**

1. Applicant Name: Trip Hospitality USA, LLC  
Address: 2204 Sullenberger Way, Flower Mound, TX 75028  
Phone: (214) 592-3244 Fax: Email: gourijoshi@hotmail.com
2. Is Applicant a corporation? ☒ Yes ☐ No  
If yes, list the name of the president of the corporation: Sagun Dahal  
If yes, list the name of the secretary of the corporation: \_\_\_\_\_
3. Is Applicant a limited liability corporation (LLC)? ☒ Yes ☐ No  
If yes, list the name of the manager of the corporation: Gouri R. Joshi (Operating Director)
4. Is Applicant a partnership? ☐ Yes ☒ No  
If yes, list the names of the partners: \_\_\_\_\_  
\_\_\_\_\_
5. Is Applicant a proprietorship? ☐ Yes ☒ No  
If yes, list the name(s) of the proprietor(s): \_\_\_\_\_
6. Tax Parcel Number(s): PARID: 2817049465000/Map #: 2817-04-9465-000  
<https://tax.watgov.org/watauganc/Datalet.aspx?sIndex=0&idx=1>  
Owner(s) of Record: Trip Hospitality USA, LLC  
Deed Book and Page Number: DB: 2208 / PG: 394
7. Location of property: 986 Ransom Street, Blowing Rock, NC 28605
8. Current zoning classification of subject property: GB (General Business District)  
Proposed zoning classification of subject property, if applicable: Conditional to Existing GB
9. Is property located in protected watershed? ☒ Yes ☐ No  
If yes, classification of protected watershed: ☒ Class IV ☐ Class II
10. Size of property: 2.076 acres or \_\_\_\_\_ square feet.



**TOWN OF BLOWING ROCK**  
**APPLICATION FOR SPECIAL USE PERMIT**

11. Gross floor area of existing buildings: 3,000 +/- square feet.

Gross floor area of proposed buildings: 67,5000 Hotel square feet / 73,100SF Parking Garage

12. A Special Use Permit is requested for the following: \_\_\_\_\_

A four-story / 98 guest room hotel with a 200-seat banquet hall

13. If single-family residential development: N/A

Proposed name of subdivision: \_\_\_\_\_

Number of lots proposed to be created: \_\_\_\_\_

Smallest lot: \_\_\_\_\_ square feet. Average lot: \_\_\_\_\_ square feet.

14. If multi-family residential development:

Proposed name of development: \_\_\_\_\_

Number of one-bedroom units: \_\_\_\_\_ Number of two-bedroom units: \_\_\_\_\_

Number of three-bedroom units: \_\_\_\_\_ Number of four-bedroom units: \_\_\_\_\_

15. Percentage of impervious surface (if applicable): 44.80 %.

**Impervious Surface Area Calculations**

The following calculations should also be shown on the site plan and preliminary subdivision plans. These calculations are essential in the consideration of the request for a Special Use Permit:

Total Area (Square Feet of Subject Property)	<u>90,430.56</u>
<u>Minus</u> Impervious Area in Square Feet Existing Prior to September 15, 1993 (Date of Ordinance)	- <u>5,408</u>
Equals Net Area of Subject Property	<u>85,022.56</u>
<u>Times</u> Percent of Impervious Area Allowed (See Permitted Allowances Listed Below)	X <u>(70%) 59,515.79</u>
<u>[Multi-family residential: 24% impervious area (up to 34% with variance)</u> <u>Non-residential development: 24% impervious area in locations that have</u> <u>curb and gutter (up to 70% if approved as Special Intensity Allocation)</u> <u>Non-residential development: 36% impervious area in locations without curb and</u> <u>gutter (up to 70% if approved as Special Intensity Allocation)]</u>	

**TOWN OF BLOWING ROCK**  
**APPLICATION FOR SPECIAL USE PERMIT**

<u>Minus</u> Impervious Area (in Square Feet) Added After September 15,1993	- 0
<u>Equals</u> Net Impervious Allowance	59,515.79
<u>Proposed</u> Impervious Area to Be Added as Part of Proposed Development (Must Be Less Than Net Impervious Area Allowance)	59,515.79

16. Name of Engineer: Timothy S. Kennerly, PE

Address: 12133-F N. NC Hwy 150, Winston Salem, NC 27127 Phone: (336) 775-2118

Name of Surveyor: New River Land Surveying / Alexander W. Crowe, PLS

Address: 1608 NC Hwy 194, Boone, NC 28607 Phone: (828) 268-9779

Name of Land Planner: Timothy S. Kennerly, PE

Address: 12133-F N. NC Hwy 150, Winston Salem, NC 27127 Phone: (336) 775-2118

Attached is a site plan showing all existing and proposed improvements as required by the Blowing Rock Land Use Code. Where said plans are in conflict with the provisions of the Land Use Code, I acknowledge that the provisions of the Land Use Code shall prevail, except as specifically provided in any Special Use Permit that may be issued by the Town Council. Any deviations from or changes in the plans after submission must be pointed out to the Administrator in writing and specific written approval must be obtained as provided in the Blowing Rock Land Use Code.

Signature of Applicant:  Date: 02/07/2025

Representing: Trip Hospitality USA, LLC

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

Signature of Property Owner: \_\_\_\_\_ Date: \_\_\_\_\_

For Staff Use Only		
Date Application Was Received:	2-7-25	Initials: <u>JKR</u>
Date Paid:	Amount Paid:	Case Number:
2-21-25	\$1,000	SUP 2025-01



SUP 2025-01

Hampton Inn Hotel









PRELIMINARY

CONDITIONAL PERMIT PLANS

FOR

HAMPTON INN HOTEL - BLOWING ROCK

8538 RANSOM STREET, BLOWING ROCK, NORTH CAROLINA, 28605

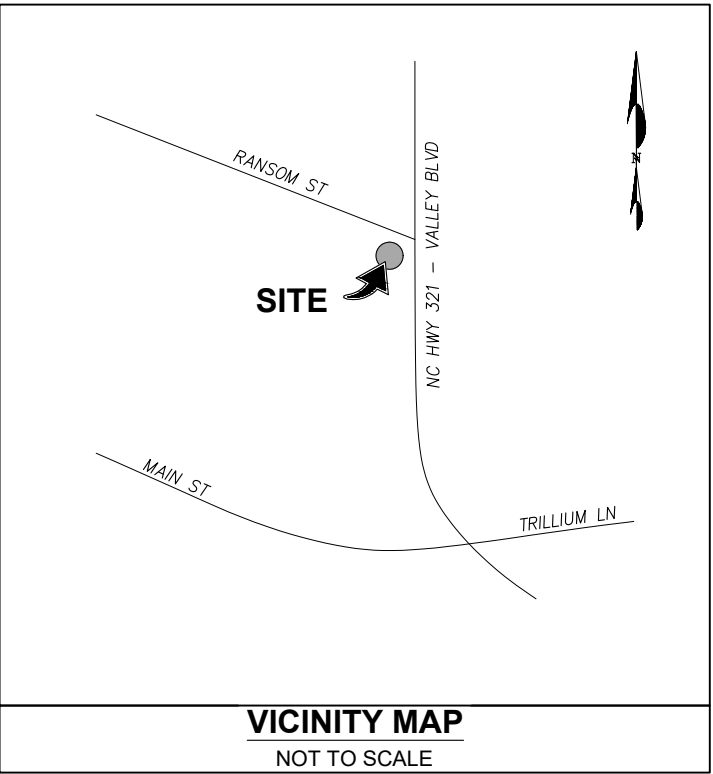
FOR

EAST STAR DESIGN, LLC

P.O. BOX 53

FORNEY, TX 75126

PHONE: 972.200.7340



INDEX OF DRAWINGS	
DESCRIPTION	DRAWING No.
COVER SHEET .....	-
EXISTING CONDITIONS .....	C-100
SITE PLAN .....	C-200
EROSION CONTROL PLAN - PHASE 1.....	C-300
EROSION CONTROL PLAN - PHASE 2 .....	C-301
GRADING PLAN .....	C-302
PLAN & PROFILE.....	C-400
UTILITY PLAN .....	C-500
CODE PLANTING PLAN .....	C-600
DETAILS.....	C-700
DETAILS.....	C-701
DETAILS.....	C-702
DETAILS.....	C-703
DETAILS.....	C-704
DETAILS.....	C-705

REVISIONS			
NO.	DESCRIPTION	DATE	BY
△	REVISED PER TOWN CONDITIONAL ZONING COMMENTS	08/25/2025	NLK

JANUARY 2025

KENNERLY

ENGINEERING & DESIGN, INC

12133 North HWY 150, Suite F

Winston-Salem, NC 27127

Phone: 336.775.2118 FAX: 336.764.0797

North Carolina License No. C-3900

PRELIMINARY

DRAWING

FOR REVIEW ONLY

22-059

HAMPTON INN HOTEL -

BLOWING ROCK

JANUARY 2025



THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC. AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINE, PIPE, ETC., BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING AND PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.

THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.

CHANGES MADE IN FIELD BY CONTRACTOR TO APPROVED CONSTRUCTION DOCUMENTS WITHOUT NOTIFICATION AND APPROVAL FROM ENGINEER OF RECORD IN WRITING PRIOR TO CONSTRUCTION OF FIELD CHANGE SHALL RELIEVE ENGINEER OF ANY LIABILITY FOR CONSTRUCTION ISSUES THAT MAY ARISE.

UPON APPROVAL BY ANY MUNICIPALITY AND OTHER UTILITY PROVIDERS OR GOVERNMENTAL AGENCY TO WHICH APPROVAL IS REQUIRED, NO CHANGE, REVISION, ALTERATION, MODIFICATION OR OTHER DEVIATION FROM APPROVED PLANS MAY BE MADE OR EFFECTUATED WITHOUT THE PRIOR WRITTEN CONSENT OF KENNERLY ENGINEERING. IN SUCH EVENT, ALL APPROVED PLANS, WORKING DRAWINGS AND OTHER DOCUMENTS RELATED THEREAFTER SHALL BE NULL & VOID WITH ANY AND ALL LIABILITY OR WARRANTIES OF KENNERLY ENGINEERING SHALL BE IMMEDIATELY TERMINATED.

#### GENERAL SURVEY NOTES

- EXISTING BOUNDARY, PHYSICAL, TOPOGRAPHIC AND TREE SURVEY INFORMATION WAS PROVIDED BY: NEW RIVER LAND SURVEYING, 1608 NC 194, BOONE, NC 28607
- ADDITIONAL EXISTING PLANIMETRICS SHOWN OFF SUBJECT PROPERTY ARE FROM TOWN OF BLOWING ROCK / WATAUGA COUNTY PUBLIC GIS AND GOOGLE EARTH CURRENT IMAGERY.
- THIS PARCEL IS LOCATED IN ZONE "X" (AN AREA OUTSIDE THE 0.2% ANNUAL CHANGE OF FLOODING) PER THE NORTH CAROLINA FLOODPLAIN MAPPING PROGRAM.
- THE RATIO OF PRECISION OF THE UNADJUSTED FIELD TRAVERSE IS NOT MORE THAN 1:10,000 AND HAS BEEN ADJUSTED BY LEAST SQUARES.
- THIS PARCEL IS LOCATED IN A PUBLIC WATER SUPPLY WATERSHED (WS-IV (P) - SOUTH FORK NEW RIVER) PER NCDEMRLR.
- ELEVATIONS ARE RELATIVE TO NAVD 88 AND THE CONTOUR INTERVALS IS TWO FOOT.
- FOR RIGHT OF WAY CONVEYED TO NCDOT SEE BOOK OF RECORDS 1493 PAGE 345, SAID RIGHT OF WAY WAS APPARENTLY CONVEYED AS "FEE SIMPLE RIGHT OF WAY" NCDOT PROJECT R2237C PLANS REFERENCE AN EXISTING RIGHT OF WAY WIDTH OF 33' AND REFERENCES DEED BOOK 26 PAGE 2.

- SAID DEED REFERENCE WAS NOT FOR THE SUBJECT LANDS AND TEXT ON THE PLANS WAS NOT LEGIBLE DUE TO OVERLAPPING LINES. HOWEVER, DEED BOOK 26 PAGE 243 MAY HAVE BEEN THE INTENDED REFERENCE AND CONVEYS TO THE TOWN OF BLOWING ROCK A 33 FOOT WIDE STREET RUNNING THROUGH APPARENT PREDECESSORS IN THE TITLE LANDS.
- SURVEYOR HAS PLOTTED THE ALIGNMENT OF AID STREET PER DEED BOOK 26 PAGE 243 AND IT APPEARS TO REASONABLY FIT THE CURRENT ALIGNMENT OF RANSOM STREET FROM THE INTERSECTION OF HIGHWAY 321 / RANSOM STREET TO A POINT APPROXIMATELY 0.5 MILE NW OF THE SUBJECT PROPERTY.
- SURVEYOR COULD NOT DETERMINE OWNERSHIP OF THE AREA BETWEEN THE FEE SIMPLE R/W TRACT DESCRIBED IN BOOK OF RECORDS 1493 PAGE 345 AND THE LANDS LYING WITHIN THE 33 WIDE AREA OF RANSOM STREET. PER CONVERSATIONS WITH TOWN OF BLOWING ROCK OFFICIALS, THE TOWN CLAIMS A RIGHT OF WAY OF MAINTENANCE LIMITS.
- SURVEYOR COULD NOT DETERMINE RE-ALIGNMENT OF RANSOM STREET HAD TAKEN PLACE. RECOMMEND EXAMINING ATTORNEY REVIEW THIS AREA FOR OWNERSHIP.
- DIRECTION OF SEWER AND STORM SEWER LINES ARE SHOWN AS REFERENCE PER THE TOWN OF BLOWING ROCK GIS. SURVEYOR LOCATED INVERTS AND ABOVE GROUND FEATURES AND DIRECTION OF BURIED LINES MAY VARY FROM WHAT IS SHOWN HEREON.
- THIS PLAT REFLECTS INFORMATION DISCOVERED DURING THE NORMAL COURSE OF WORK AND DOES NOT NECESSARILY SHOW EVERY POSSIBLE CONDITION AFFECTING THE PROPERTY. UNDERGROUND UTILITIES MAY EXIST WHICH ARE NOT SHOWN HEREON.
- THE PROPERTY MAY BE SUBJECT TO EASEMENTS AND/OR RIGHTS OF WAY, BUILDING ORDINANCES, ZONING, AND OTHER LEGAL ENCUMBRANCES MAY ALSO EXIST.
- PHYSICAL SURVEY PERFORMED INCLUDED LOCATION OF TREES LARGER THAN 18-INCHES WITH NOTED SPECIES.

SURVEYOR:  
ALEXANDER W. CROWE, PLS L-5337  
NEW RIVER LAND SURVEYING  
1608 NC 194  
BOONE, NC 28607  
EMAIL: ALEX@NRLANDSURVEYING.COM  
PHONE: 828.268.9779  
PROF. LICENSE #: P-2146

#### NOTES:

- PROTECT ALL UTILITIES WITHIN PROJECT LIMITS AT ALL TIMES.
- EXISTING WATER LINE INFORMATION OBTAINED BY TOWN OF BLOWING ROCK GIS.
- VERIFY EXISTING UTILITIES PRIOR TO CONSTRUCTION.

#### VICINITY MAP

NOT TO SCALE

#### NOTES

OWNER: TRIP HOSPITALITY, LLC  
2204 SULLENBERGER WAY  
FLOWER MOUND, TX 75028  
PHONE: 214.592.3244

SITE ADDRESS: 986 RANSOM STREET  
BLOWING ROCK, NC

COUNTY: WATAUGA COUNTY

TOWNSHIP: BLOWING ROCK TOWNSHIP

TAX ID: 2817-04-9465

EX. ZONE: GB (GENERAL BUSINESS)

DEED: DB 2208 / PG 394

ACREAGE: 2.076 +/- ACRES (SURVEYED FEBRUARY 2023)

PER LAND USE CODE: 16-12.4  
EXIST. SETBACKS: 20-FEET PLUS 20-FEET AT STREET  
35-FEET MIN. FROM STREET CENTERLINE  
8-FEET MIN. FROM LOT BOUNDARY

LOT SIZE: NO MIN. LOT SIZE  
LOT WIDTH: NO MIN. LOT WIDTH

WATER: PUBLIC / TOWN OF BLOWING ROCK PUB. UTILITIES  
SEWER: PUBLIC / WATAUGA COUNTY UTILITIES  
GAS: PUBLIC / FRONTIER NATURAL GAS  
ELECTRIC: PUBLIC / BLUE RIDGE ENERGY  
WATER SHED: SOUTH FORK NEW RIVER (WS-IV(P))

#### SURVEY NOTES:

- CLASS OF SURVEY: CLASS A
- POSITIONED ACCURACY: HORIZONTAL: 0.02'  
VERTICAL: 0.09'
- GPS FIELD PROCEDURE NC VRS
- NETWORK DATE OF SURVEY: FEB. 1ST 2023  
DATUM/EPOCH: NAD83(2011) (EPOCH: 2010.0000)
- PUBLISHED/FIXED CONTROL: NC VRS NETWORK
- GEIOD MODEL: GEIOD12B
- COMBINED GRID FACTOR: 0.9998106 UNITS: US SURVEY FEET
- ALL DISTANCES ARE HORIZONTAL MEASUREMENTS AREAS CALCULATED BY COORDINATE GEOMETRY.

SANITARY SEWER STRUCTURE TABLE					
SSMH #1	SSMH #2	SSMH #3	SSMH #4	SSMH #5	SSMH #6
RIM 3606.05 IN 3602.45 OUT 3602.27	RIM 3598.06 IN 3595.00 IN 3594.47 OUT 3594.28	RIM 3604.93 IN 3597.76 OUT 3597.65	RIM 3598.40 IN 3590.91 IN 3590.77 OUT 3590.61	RIM 3590.90 IN 3585.20 OUT 3585.15	RIM 3565.04 IN 3560.65 IN 3557.58 OUT 3556.68
SSMH #7					
RIM 3566.22 IN 3562.06 OUT 3561.91					

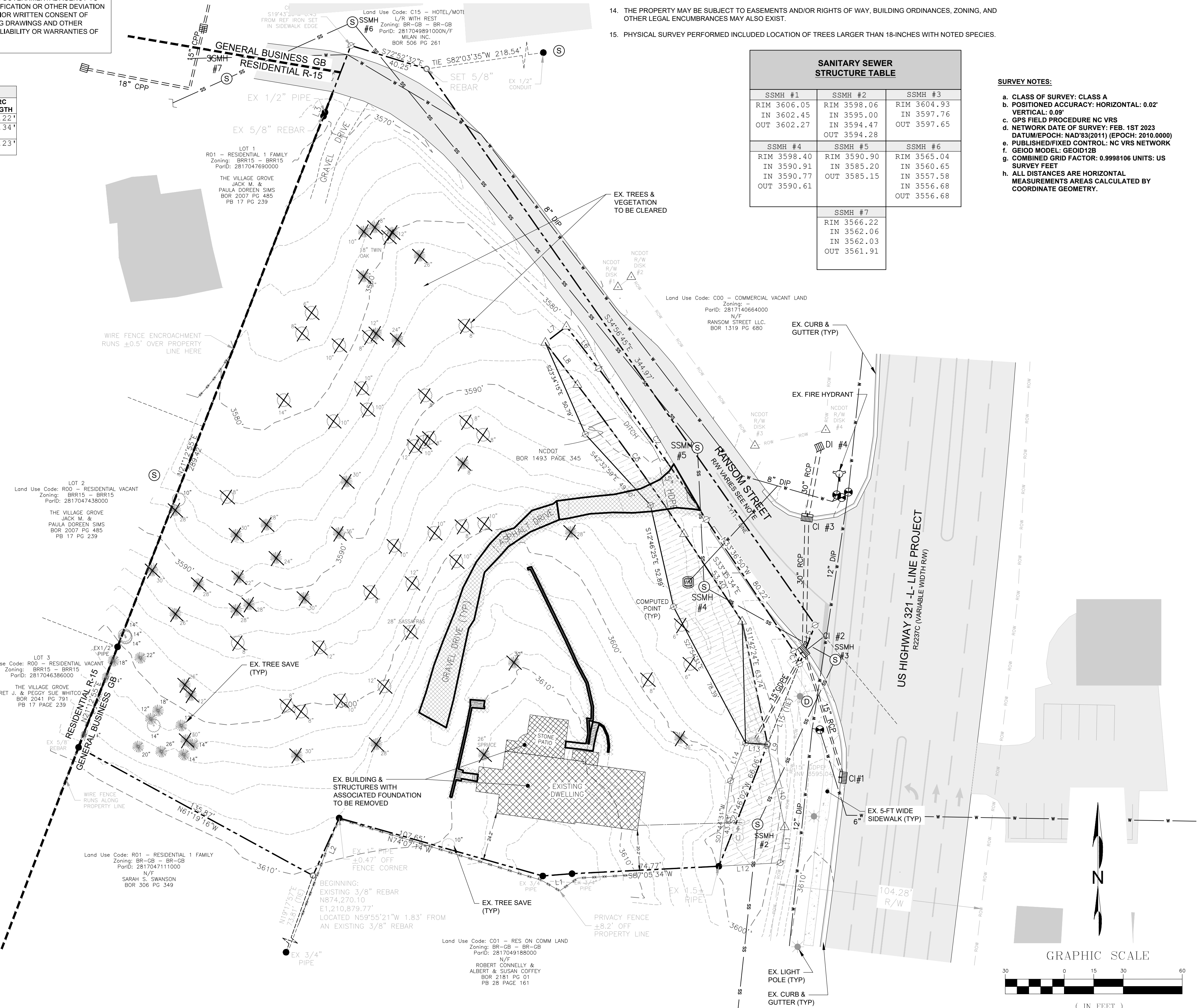
CURVE TABLE				
CURVE	CHORD BEARING	CHORD LENGTH	RADIUS	ARC LENGTH
C1	N 25°18'28" W	7.20'	25.01'	7.22'
C2	N 35°31'19" W	94.33'	1,416.30'	94.34'
C3	N 35°33'50" W	93.21'	1,400.28'	93.23'

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 85°31'53" W	14.91'
L2	S 24°28'22" W	32.14'
L3	N 21°12'55" E	2.11'
L4	N 21°12'55" E	36.40'
L5	S 21°46'02" W	21.19'
L6	N 37°25'49" W	26.91'
L7	S 52°30'04" W	13.49'
L8	S 37°14'38" E	26.95'
L9	S 21°46'02" W	0.70'
L10	S 11°42'24" E	43.05'
L11	S 07°10'36" W	18.22'
L12	S 86°44'47" W	31.27'
L13	S 83°08'10" E	10.99'
L14	S 21°46'41" W	20.71'
L15	N 21°46'02" E	44.08'

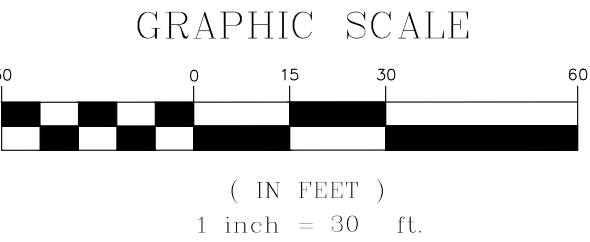
RIGHT OF WAY MONUMENT TABLE			
#	NORTH	EAST	
1	874569.2945	1211034.8328	
2	874574.4220	1211041.6434	
3	874488.6919	1211104.4826	
4	874496.6632	1211140.4991	

STORM SEWER STRUCTURE TABLE	
CI #1	TOP 3608.15 IN 3602.85 OUT 3602.90 OUT 3602.75
CI #2	TOP 3604.70 IN 3598.10 IN 3592.80 OUT 3592.60
CI #3	TOP 3598.45 IN 3591.45 OUT 3591.00
DI #4	RIM 3597.60 IN 3590.35 OUT 3583.25

File: P:\2022 projects\22-059 - blowing rock hotel - watauga co east star design\k\Plan\22-059 - C-100 - Existing Conditions.dwg  
Date: Aug 27, 2025 - 1:10pm by kkennerly / Printed: Aug 28, 2025 - 4:10pm



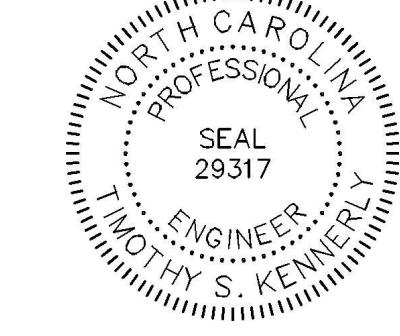
LEGEND	
	EXISTING DROP INLET
	EXISTING CURB INLET
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING WATER METER
	EXISTING SEWER MANHOLE
	EXISTING STORM MANHOLE
	EXISTING STREET LIGHT
	EXISTING UTILITY POLE
	EXISTING TELEPHONE BOX
	EXISTING TRANSFORMER
	EXISTING UTILITY PEDESTAL
	EXISTING COMPUTED POINT
	EXISTING PROPERTY CORNER SET
	EXISTING PROPERTY CORNER FOUND
	EXISTING NCDOT R/W DISK (CONTROL POINT)
	EXISTING EVERGREEN TREE
	EXISTING DECIDUOUS TREE
	EXISTING CURB & GUTTER
	EXISTING PROPERTY LINE
	EXISTING RIGHT-OF-WAY
	EXISTING SANITARY SEWER
	EXISTING STORM - MAJOR
	EXISTING CONTOUR - MINOR
	EXISTING PROPERTY ADJOINER
	EXISTING RIGHT OF WAY
	EXISTING WATER LINE
	EXISTING PRIVACY FENCE
	EXISTING NCDOT STORM DRAINAGE EASEMENT
	TEMPORARY NCDOT CONSTRUCTION EASEMENT T1 1493 PG 345 DEMO
	EXISTING TREES & VEGETATION TO BE CLEARED
	EXISTING SIDEWALK
	EXISTING ASPHALT PAVEMENT
	EXISTING DEMOLITION



HAMPTON INN HOTEL - BLOWING ROCK  
BLOWING ROCK, NORTH CAROLINA, 28605  
FOR  
EAST STAR DESIGN, LLC  
P.O. BOX 53  
FORNEY, TX 75126  
PHONE: 972.200.7340

PRELIMINARY  
DRAWING  
FOR REVIEW ONLY

8/28/2025



KENNERLY  
ENGINEERING & DESIGN, INC.

12133 N. NC Hwy 150, Suite F  
Winston-Salem, NC 27127  
PH: 336.775.2118 FAX: 336.784.0787  
NC License: C-3900 / www.KennerlyEngineering.com

Technician: DCS  
Project No: 22-059  
Drawing Name:

Designer: TSK  
Checked by: NLK

EXISTING  
CONDITIONS

Drawing Reference:  
22-059 - C-100 - Existing Conditions.dwg  
Date: JANUARY 2025  
Scale: 1" = 30'

Drawing Number:  
C-100



THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.

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1. THIS CONCEPT HAS BEEN PREPARED USING SURVEY INFORMATION PROVIDED BY NEW RIVER LAND SURVEYING. INFORMATION IS BASED FROM BOUNDARY, PHYSICAL, TREE AND TOPOGRAPHIC SURVEYS PROVIDED.
2. SOME INFORMATION WAS PROVIDED BY WATAUGA COUNTY PUBLIC GIS, TOWN OF BLOWING ROCK GIS, & CURRENT GOOGLE EARTH, FOR PICTORIAL PURPOSES.
3. DUMPSTER ENCLOSURE AREA IS TO FOLLOW TOWN OF BLOWING ROCK LAND USE REQUIREMENTS.
4. A MINIMUM TYPE "A" BUFFERARY IS TO BE PROVIDED ALONG PROPERTY LINES ADJOINING SAID PARCEL, CURRENTLY ZONED AS BRR15.
5. FINAL LANDSCAPE BUFFERARY DESIGN TO COMPLY WITH UTILITY AND ANY POTENTIAL EASEMENT LOCATIONS. SEE CODE PLANTING PLAN SHEET C-600.
6. ALL DIMENSIONS ARE FROM EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE NOTED.
7. CONTRACTOR TO FIELD VERIFY EXISTING PROPERTY LINES & ELEVATIONS PRIOR TO START OF CONSTRUCTION.
8. CONTRACTOR TO VERIFY EXISTING WATER AND SEWER SIZES AND TAP LOCATIONS PRIOR TO CONSTRUCTION.
9. APPROVAL OF THIS SITE PLAN IS NOT AN AUTHORIZATION TO GRADE ADJACENT PROPERTIES WHEN FIELD CONDITIONS WARRANT OFF-SITE GRADING. PERMISSION MUST BE OBTAINED FROM AFFECTED PROPERTY OWNERS.
10. ANY REQUIRED ACCESS / DRIVEWAY PERMITS MUST BE APPROVED PRIOR TO CONSTRUCTION.
11. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
12. ANY STRUCTURE TO BE REMOVED SHALL REQUIRE A DEMOLITION PERMIT FROM BUILDING INSPECTIONS.
13. ALL CONSTRUCTION IS TO MEET THE TOWN OF BLOWING ROCK / NDECO STANDARDS AS REQUIRED.
14. STREET LIGHTS SHALL COMPLY WITH TOWN OF BLOWING ROCK LAND USE ORDINANCE.
15. PROTECT ALL UTILITIES WITHIN PROJECT LIMITS AT ALL TIMES.

PROPOSED ENCLOSE  
DOUBLE DUMPSTER  
LOCATION. SEE DETA  
SHEET C-703

ZONING DISTRICT LINE

GE

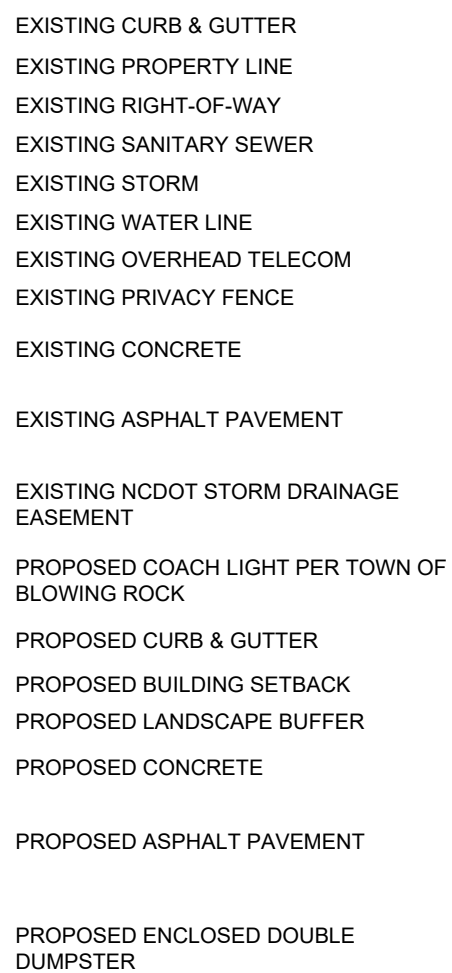
WIRE FENCE RUNS ALONG PROPERTY LI

PROP. TREE SAVE (TYP)

Land Use Co Z

Land Use Code: R01 - RESIDENTIAL 1 FAMILY  
Zoning: BR-GB - BR-GB  
ParID: 2817047111000  
N/F  
SARAH S. SWANSON  
BOR 306 PG 349

Path: P:\2023 projects\22-059 - blowing rock hotel - watauga co. east star design\Plans\22-059 - C-200 - Site Plan.dwg  
 saved: Aug 27, 2025 - 7:27pm by NikolaiKenny / Plotted: Aug 28, 2025 - 4:19pm



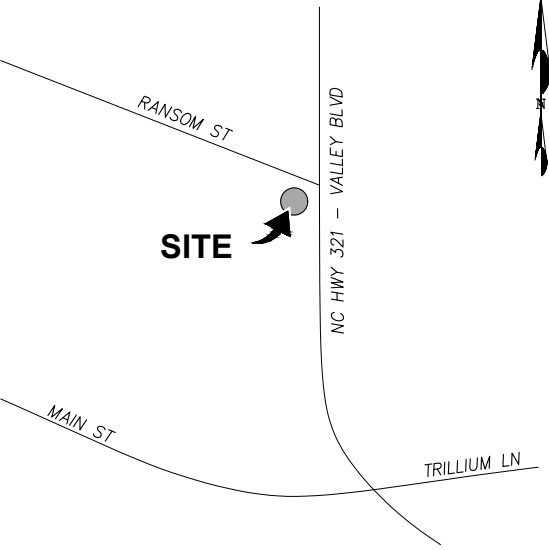
**ENGINEERING:**  
KENNERLY ENGINEERING & DESIGN, INC.  
12133-F N NC HIGHWAY 150  
WINSTON-SALEM, NC 27127

OWNER REPRESENTATIVE:  
GOURI RAJ JOSHI  
C/O TRIP HOSPITALITY, LLC  
2204 SULLENBERGER WAY  
FLOWER MOUND, TX 75028  
EMAIL: GOURIJOSHI@HOTMAIL.COM  
PHONE: 214.592.3244

**ARCHITECTS:**  
GREG GUERIN, NCARB  
EAST STAR DESIGNS  
P.O. BOX 53  
FORNEY, TX 75126  
PHONE: 972.200.7340  
GGUERIN@EASTSTARDESIGN.COM

**STRUCTURAL ENGINEER:**  
MOHAMMAD KABIR, PE, SE  
MK ENGINEERS & ASSOCIATES, INC.  
400 CHISHOLM PLACE, STE. 106  
PLANO, TX 75075  
PHONE: 214.501.3354

**SURVEYOR:**  
ALEXANDER W. CROWE, PLS L-5337  
NEW RIVER LAND SURVEYING  
1608 NC 194  
BOONE, NC 28607  
EMAIL: ALEX@NRLANDSURVEYING.COM  
PHONE: 828.268.9779  
PROF. LICENSE #: P-2146



FRONT: 40'  
SIDE: 16'  
REAR: 9'  
TYPE "A" LANDSCAPE BUFFER: 16'

70% OF TOTAL ACREAGE (2,076 AC / 90,430.56 SF)  
(70% = 1.45 AC / 63,301 SF MAXIMUM)

EXTERIOR  
PARKING/DRIVES: 20,676 SF / 0.48 AC  
SIDEWALK: 2,802 SF / 0.06 AC  
BUILDING: 22,384 SF / 0.51 AC  
SUBTOTAL: 45,862 SF / 1.05 AC

EXISTING: - 5,408 SF / 0.12 AC  
TOTAL PROP.: 40,454 SF / 0.93AC

TOTAL IMPERVIOUS: 0.93 AC / 40,454 SF = 44.80%

SPACES REQUIRED: 98 GUEST ROOMS  
1 SPACE PER GUEST ROOM  
98 SPACES

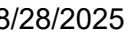
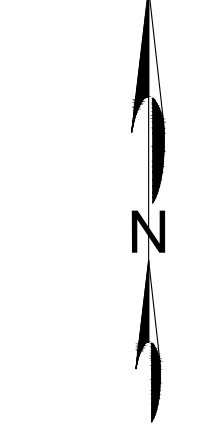
200 SEAT BANQUET HALL  
1 SPACES FOR EVERY 4 SEATS  
50 SPACES REQUIRED

TOTAL REQUIRED: 148 SPACES INCLUDING  
58 SPACES

SPACES PROVIDED: 151 IN PARKING DECK  
11 IN EXTERIOR PARKING  
162 TOTAL INCLUDING

**UTILITIES:**

WATER:	PUBLIC / TOWN OF BLOWING ROCK UTILITIES
ELECTRIC / PROPANE	PUBLIC / BLUE RIDGE ENERGY
SEWER:	PUBLIC / WATAUGA COUNTY UTILITIES



HAMPTON INN HOTEL - BLOWING ROCK  
BLOWING ROCK, NORTH CAROLINA, 28605

FOR  
T STAR DESIGN, LLC  
P.O. BOX 53  
FORNEY, TX 75126  
PHONE: 972.200.7340

Technician:	Designer:
DCS	TSK
Project No:	Checked by:
22-059	NLK
Drawing Name:	

Drawing Reference: 22-059 - C-200 - Site Plan.dwg	
Date: JANUARY 2025	Drawing Number: C-200
Scale: 1" = 30'	



THIS PLAN DOES NOT PURPORT TO SHOW ALL EXISTING UTILITIES, LINES, APPURTENANCES, ETC., AND THE LOCATIONS OF EXISTING UNDERGROUND UTILITIES, PIPES, VALVES, ETC. AS SHOWN ARE IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR THE ENGINEER. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES, LINE, PIPE, ETC. BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT RESULT FROM THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES, PIPES AND VALVES. THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF ANY CONFLICTS WITH EXISTING AND PROPOSED FACILITIES TO DETERMINE IF AN ITEM WILL NEED TO BE RELOCATED.

THE ENGINEER HAS MADE NO EXAMINATION TO DETERMINE WHETHER ANY HAZARDOUS OR TOXIC MATERIALS ARE PRESENT OR CONTAINED IN, UNDER OR ON THE SUBJECT PROPERTY OR ITS WATERS, OR IF ANY HAZARDOUS OR TOXIC MATERIALS HAVE CONTAMINATED THIS OR OTHER PROPERTIES OR ITS WATERS IN ANY WAY WHATSOEVER. NO SUBSURFACE EXAMINATION OF ANY TYPE HAS BEEN MADE BY THE ENGINEER, AND ACCORDINGLY, NO OPINION IS EXPRESSED OR INFERRED ON ALL SUCH MATTERS. FURTHER, NO OPINION IS RENDERED AS TO ANY VIOLATION OF ANY ENVIRONMENTAL LAWS OR REGULATIONS, EITHER FEDERAL, STATE, OR LOCAL RELATED TO THE INFORMATION SHOWN ON THIS PLAN AND THE ENGINEER IS IN NO WAY LIABLE FOR ANY VIOLATION OF SUCH ENVIRONMENTAL LAWS SHOULD SUCH EXIST.

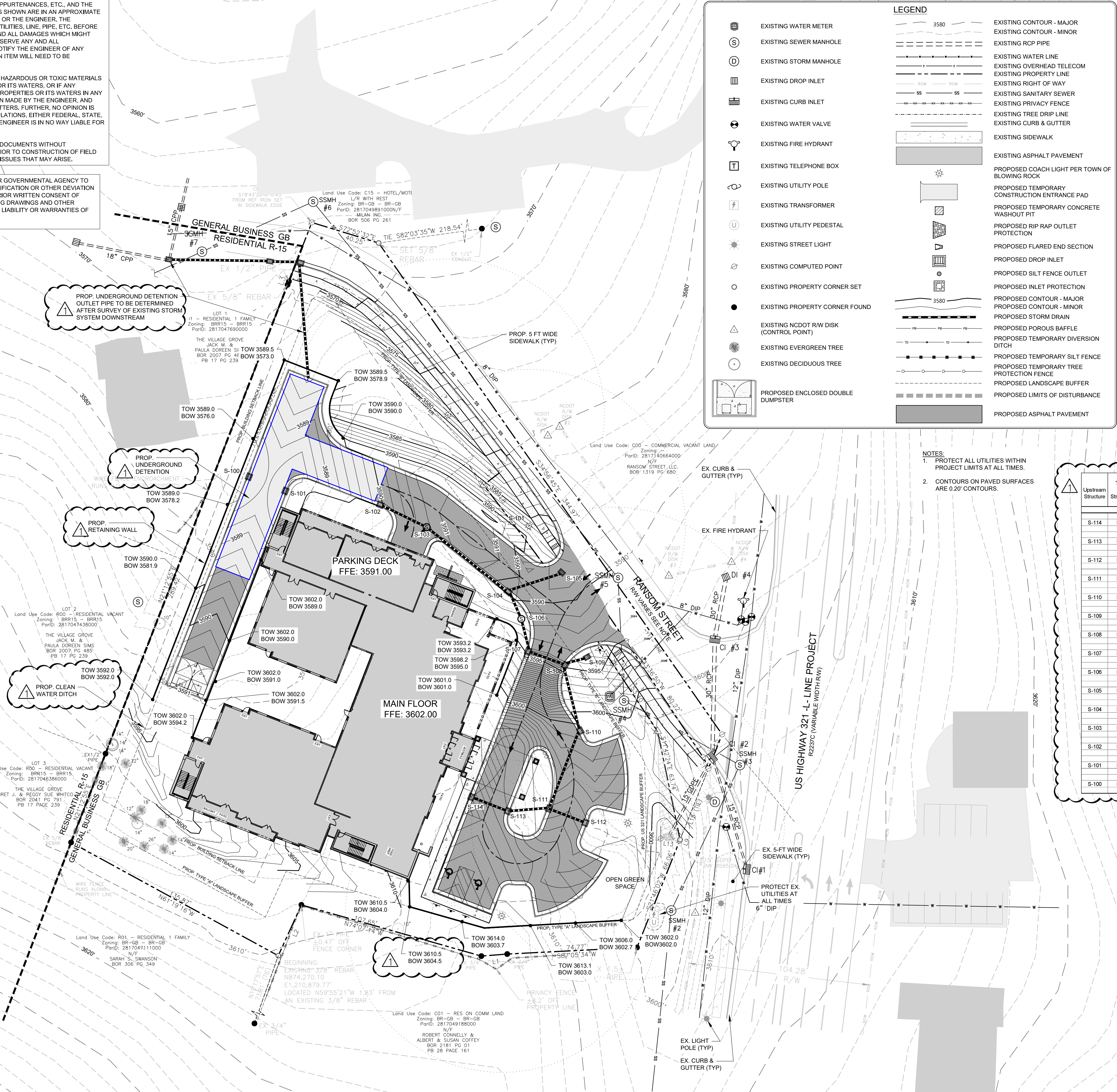
CHANGES MADE IN FIELD BY CONTRACTOR TO APPROVED CONSTRUCTION DOCUMENTS WITHOUT NOTIFICATION AND APPROVAL FROM ENGINEER OF RECORD IN WRITING PRIOR TO CONSTRUCTION OF FIELD CHANGE SHALL RELIEVE ENGINEER OF ANY LIABILITY FOR CONSTRUCTION ISSUES THAT MAY ARISE.

UPON APPROVAL BY ANY MUNICIPALITY AND OTHER UTILITY PROVIDERS OR GOVERNMENTAL AGENCY TO WHICH APPROVAL IS REQUIRED, NO CHANGE, REVISION, ALTERATION, MODIFICATION OR OTHER DEVIATION FROM APPROVED PLANS MAY BE MADE OR EFFECTUATED WITHOUT THE PRIOR WRITTEN CONSENT OF KENNERLY ENGINEERING. IN SUCH EVENT, ALL APPROVED PLANS, WORKING DRAWINGS AND OTHER DOCUMENTS RELATED THERE TO SHALL BE NULL & VOID WITH ANY AND ALL LIABILITY OR WARRANTIES OF KENNERLY ENGINEERING SHALL BE IMMEDIATELY TERMINATED.

#### EXIST. STORM SEWER STRUCTURE TABLE

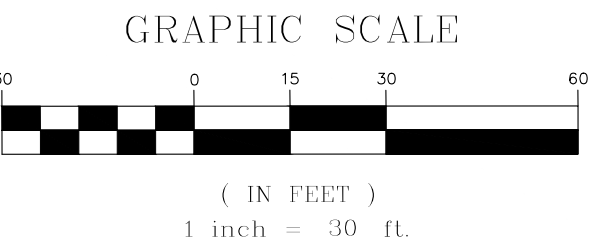
CI #1
TOP 3608.15
IN 3602.85
OUT 3602.90
OUT 3602.75
CI #2
TOP 3604.70
IN 3598.10
IN 3592.80
OUT 3592.60
CI #3
TOP 3598.45
IN 3591.45
OUT 3591.00
DI #4
RIM 3597.60
IN 3590.35
OUT 3583.25

File: P:\2022 projects\22-059 - Blowing Rock Hotel - retaining on east side.dwg\Plan\22-059 - C-302 - Grading Plan.dwg  
Date: Aug 26, 2025 - 13:30:10 by Kennerly / P:\2022 - 4:20am



- NOTES:
1. PROTECT ALL UTILITIES WITHIN PROJECT LIMITS AT ALL TIMES.
  2. CONTOURS ON PAVED SURFACES ARE 0.20' CONTOURS.

Upstream Structure	Type of Structure	Down Stream Structure	Type of Structure	Length (Ft)	Type of Line	Top or Grate Elev. (Ft)	Pipe Diam (in.)	Slope (%)	Cover (Ft) Ground to TOP
S-114	Inlet	S-113	Inlet	23	RCP	3602.00	15	1.00%	7.06
S-113	Inlet	S-111	Inlet	24	RCP	3602.00	15	3.00%	7.39
S-112	Inlet	S-111	Inlet	23	RCP	3601.00	15	1.00%	6.88
S-111	Inlet	S-110	Inlet	49	RCP	3601.00	15	6.00%	7.21
S-110	Inlet	S-108	Inlet	39	RCP	3600.10	15	6.00%	9.35
S-109	Inlet	S-108	Inlet	14	RCP	3593.50	15	2.00%	4.66
S-108	Inlet	S-107	Inlet	23	RCP	3594.30	18	1.00%	5.74
S-107	Inlet	S-106	Inlet	19	RCP	3594.30	18	6.00%	6.07
S-106	Inlet	S-104	Inlet	20	RCP	3592.50	18	6.00%	5.51
S-105	Inlet	S-104	Inlet	34	RCP	3588.50	15	0.50%	2.64
S-104	Inlet	S-103	Inlet	58	RCP	3589.50	18	0.50%	3.81
S-103	Inlet	S-102	Inlet	30	RCP	3590.70	18	0.50%	5.40
S-102	Inlet	DET	SCM	10	RCP	3589.95	18	0.50%	4.90
S-101	Inlet	DET	SCM	5	RCP	3588.40	15	0.50%	3.97
S-100	Inlet	DET	SCM	5	RCP	3588.40	15	0.50%	3.97



**KENNERLY**  
ENGINEERING & DESIGN, INC.

12133 N. NC Hwy 150, Suite F  
Winston-Salem, NC 27127  
PH: 336.775.2118 FAX: 336.764.0787  
NC License: C-3900 / www.KennerlyEngineering.com

SEAL 29317  
ENGINEER  
TIMOTHY S. KENNERLY

8/28/2025

**PRELIMINARY  
DRAWING  
FOR REVIEW ONLY**

**HAMPTON INN HOTEL - BLOWING ROCK**  
BLOWING ROCK, NORTH CAROLINA, 28605

FOR  
**EAST STAR DESIGN, LLC**  
P.O. BOX 53  
FORNEY, TX 75126  
PHONE: 972.200.7340

No.	Description	Date	By
1	REV PER TOWN COND. ZONING COMMENTS	08/25/2025	NLK

Technician:	Designer:
DCS	TSK
Project No:	Checked by:
22-059	NLK
Drawing Name:	

**GRADING PLAN**

Drawing Reference:  
22-059 - C-302 - Grading Plan.dwg

Date:  
JANUARY 2025

Scale:  
1" = 30'

Drawing Number:  
**C-302**

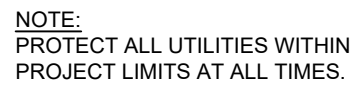


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SSMH #7	
RIM	3566.22
IN	3562.06
IN	3562.03
OUT	3561.91

STORM SEWER STRUCTURE TABLE	
CI #1	
TOP	3608.15
IN	3602.85
OUT	3602.90
OUT	3602.75
CI #2	
TOP	3604.70
IN	3598.10
IN	3592.80
OUT	3592.60
CI #3	
TOP	3598.45
IN	3591.45
OUT	3591.00
DI #4	
RIM	3597.60
IN	3590.35
OUT	3583.25



**VICINITY MAP**  
NOT TO SCALE

**HAMPTON INN HOTEL - BLOWING ROCK**  
**BLOWING ROCK, NORTH CAROLINA, 28605**

**FOR**

**EAST STAR DESIGN, LLC**

**P.O. BOX 53**  
**FORNEY, TX 75126**  
**PHONE. 972.200.7340**

[illegible]

Technician:  DCS	Designer:  TSK
Project No:  22-059	Checked by:  NLK

Drawing Reference: 22-059 - C-500 - Utility Plan.dwg	
Date: JANUARY 2025	Drawing Number: C-500
Scale: 1" = 30'	









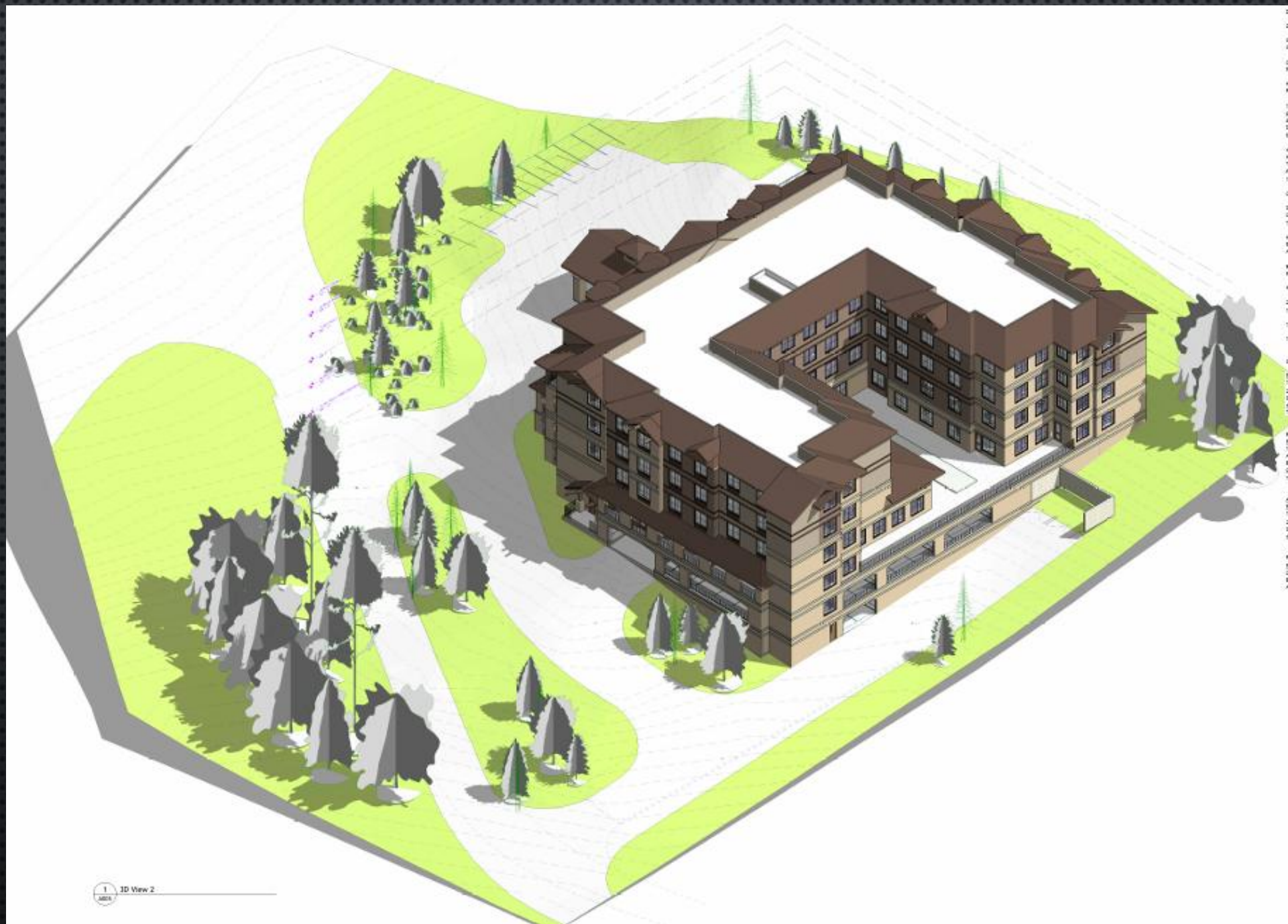


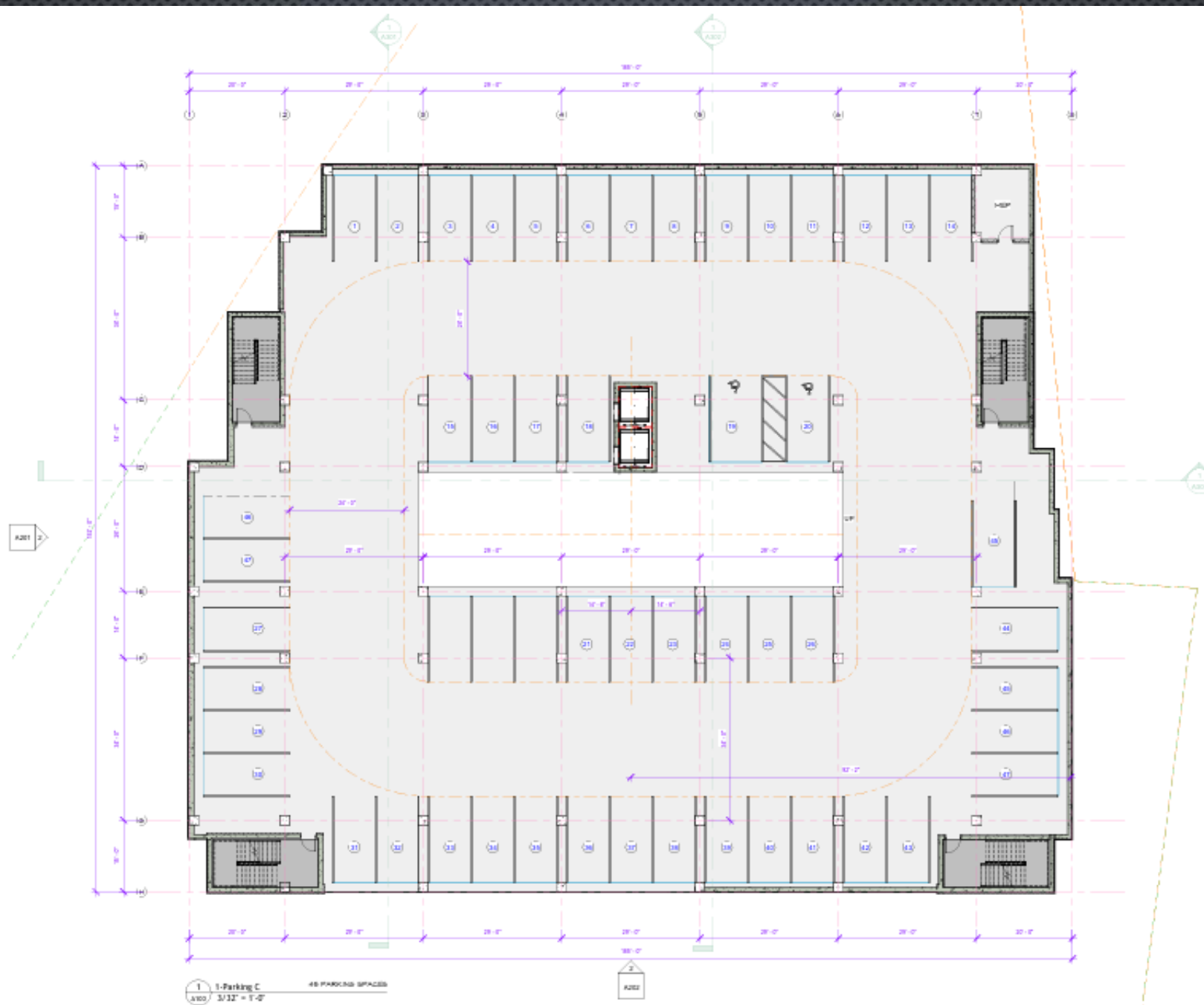




PATAHA COUNTY  
 NORTH CAROLINA  
 DEED BOOK 204, PAGE 1241  
 ZONING:  
 BB  
 GENERAL BUSINESS  
 CONDITIONAL USE PERMIT REQUIRED  
 FOR HOTELS  
 HOTEL  
 PARKING REQUIREMENTS:  
 1 SPACE FOR EACH ROOM TO BE RENTED  
 (FOR ADDITIONAL SPACES IF  
 ACCORDANCE WITH OTHER SECTIONS OF  
 15.0.1000) FOR RESIDENTIAL OR OTHER  
 BUILDINGS  
 4 STORY WOOD FRAMED  
 HOTEL  
 TYPE VIA CONSTRUCTION  
 WOOD FRAMED  
 1.5% F.R.  
 OVER  
 8 STORY WOOD  
 CONCRETE PARKING GARAGE  
 TYPE 1A CONSTRUCTION  
 HEIGHT  
 80'-0"  
 ABOVE MAIN ENTRANCE LEVEL  
 R-2 OCCUPANCY GROUP  
 FULLY SPRINKLERED  
 16 GUEST ROOMS  
 200 SEAT BANQUET HALL  
 1 SPACE PER 4 SEATS = 50 SPACES  
 146 SPACES REQUIRED  
 180 PARKING SPACES PROVIDED  
 SUBSTROOM COUNT  
 FLOOR / LEVEL  
 1ST 1  
 2ND 27  
 3RD 38  
 4TH 38  
 TOTAL 104  
 PARKING  
 FLOOR LEVEL  
 1 49  
 A 47  
 C 57  
 TOTAL 153  
 AIR CONDITIONED AREA  
 FLOOR AREA (SF)  
 1ST 14,000  
 2ND 12,800  
 3RD 18,000  
 4TH 18,000  
 TOTAL 62,800 SF  
 PARKING GARAGE  
 FLOOR AREA (SF)  
 C 28,800 SF  
 B 28,800 SF  
 A 28,800 SF





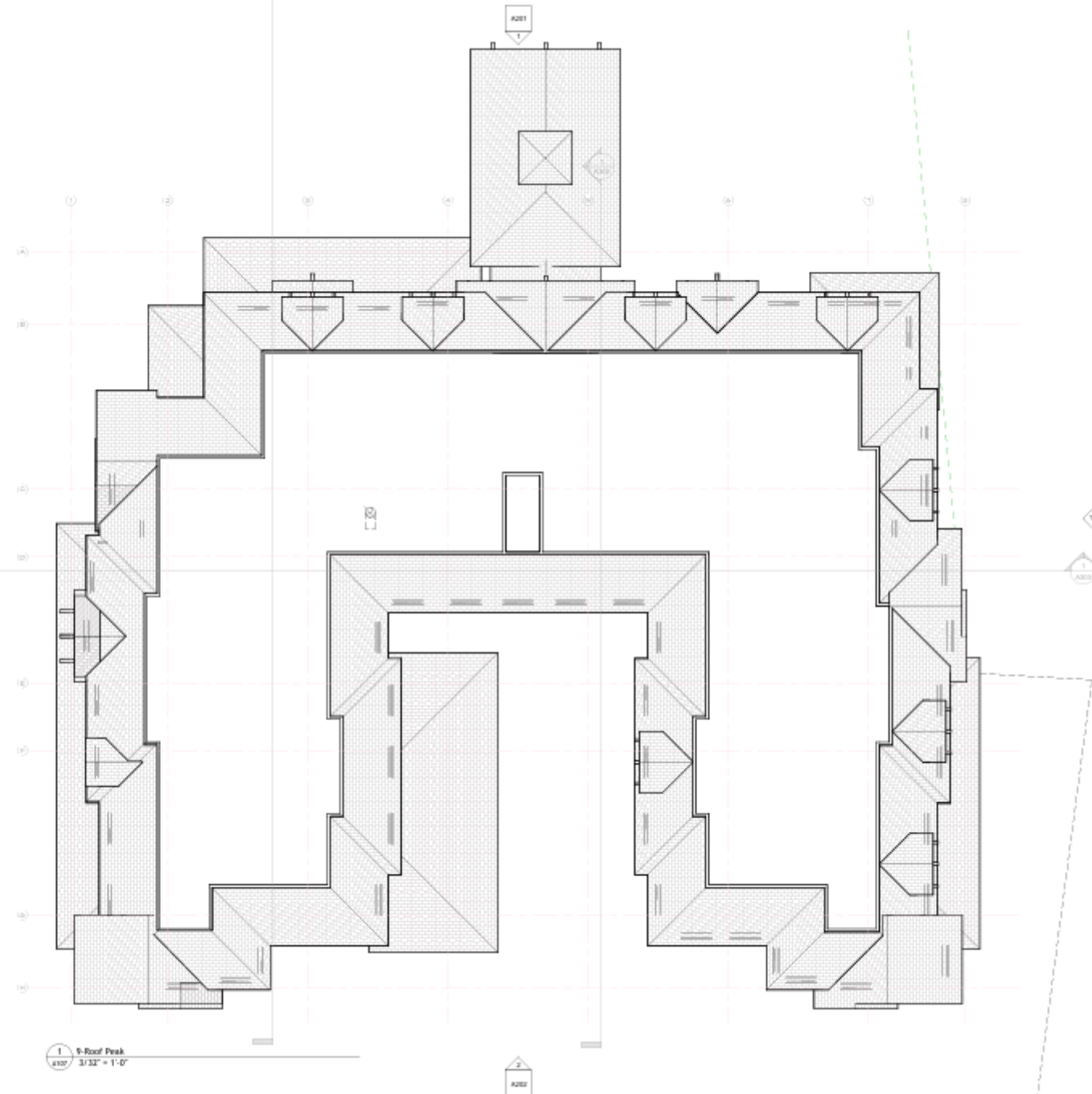






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1 9-Roof Peak  
3/32" = 1'-0"

2  
A202



1	Section B
AND	1/8" = 1'-0"



# Hampton Inn Blowing Rock, NC

RF

GAF Timberline-Barkwood

CS

New Cast Stone

Pale Maize

FCB2

Sherwin Williams

Double Latte

STON

Cultured Stone-Cobblefield

Chardonnay

FCB1

Sherwin Williams

Van Dyke Brown

P1

Sherwin Williams

Black Bean



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DESIGN  
ARCHITECTURE • INTERIOR DESIGN • PLANNING



## Nikole Kennerly

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**From:** Heavner, Kenneth H <khheavner@ncdot.gov>  
**Sent:** Sunday, May 4, 2025 9:09 PM  
**To:** Timothy Kennerly  
**Cc:** Nikole Kennerly; Kyrie Henninger; Greg Guerin; Pruitt, Christopher D; Reese, Alexander W  
**Subject:** RE: [External] 22-059 - Hampton Inn - Blowing Rock, NC  
**Attachments:** R-2237C - Ransom ROW.pdf; 22-059 - C-302 - Grading Plan.pdf

Some people who received this message don't often get email from khheavner@ncdot.gov. [Learn why this is important](#)

Mr. Kennerly,

Please see the attached R-2237C plan sheet that shows right of way along US321 and Ransom Street at the subject location.

As for the proposed driveway connection to US321, the grading plan currently shows the radius of the proposed driveway connecting to the radius of Ransom Street. It may be possible to consider a RIRO connection to US321 if we could get a minimum of 100ft tangent length from driveway end of radius to Ransom St end of radius. It's our policy maintain a separation between access points a desired minimum distance of 100ft. Also, with the development as proposed, I would be concerned about traffic potentially traveling against the flow of traffic to turn left through the median break creating an unsafe movement. The apparent safest connection to the highway system would be via Ransom Street. If reference to the NCDOT's Policy on Street and Driveway Access to NC Highways is needed, then I would start by referencing page 26 where it states *"The NCDOT may prohibit or restrict access to a State Highway System roadway if alternate access is available through other adjacent public facilities."* Since access to the highway system can be adequately gained using Ransom St, we would not allow direct access to US321 as proposed.

Please let me know if anything additional is requested.

Thanks,

**Kenny H. Heavner, PE**  
North Carolina Department of Transportation  
Division 11  
District Engineer – Boone

828-268-6026 office  
[khheavner@ncdot.gov](mailto:khheavner@ncdot.gov)



*Email correspondence to and from this address is subject to the North Carolina Public Records Law and may be disclosed to third parties.*

**From:** [Laura Cheek](#)  
**To:** [Kevin Rothrock](#)  
**Subject:** Public notice regarding development at Ransom and 321  
**Date:** Wednesday, September 10, 2025 12:16:24 PM

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You don't often get email from lauradcheek@outlook.com. [Learn why this is important](#)

Kevin, if you would please relay these comments to the planning board.

I am opposed to permitting the hotel development which is proposed for this property. Like many of my fellow citizens, I'm concerned about the significant increase in density of short term rental and hotel rooms we have already allowed in our small town. We do not have the resources to sustain more density without sacrificing quality of life for residents. Specifically, natural resources like water supply during drought periods. We often have to have water restrictions during dry spells at our historic density. It's irresponsible to keep increasing the demand for water.

Another resource we're in short supply of is parking. Unlike some of the boutique hotels downtown, this property will not be considered easily or conveniently walkable for the majority of people. We don't need to continue to permit projects that further contribute to what is a major problem for both residents and tourists alike.

Thanks for your consideration of my views.

Laura Cheek

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