



Town of Blowing Rock

Board of Commissioners Meeting

Date: *Wednesday, November 12, 2025, 6:00 p.m.*

Location: *1036 Main Street, Blowing Rock, NC 28605*

Agenda

<i>Item</i>	<i>Topic</i>	<i>Presenter and Participants</i>
I.	CALL TO ORDER – ROLL CALL FOR ATTENDANCE	Mayor Charles Sellers
II.	PLEDGE OF ALLEGIANCE	Mayor Charles Sellers
III.	APPROVAL OF MINUTES – By Roll Call 1. October 14, 2025 – Regular Meeting and Closed Session Minutes REGULAR AGENDA ADOPTION	Mayor & Council Mayor & Council
IV.	CONSENT AGENDA: 1. Budget Amendment – 2025-19 2. Tax Releases 3. Resolution – Public Rights of Way and Easements By the Headwaters of the New River LLC 4. Tax Policy 5. Project Ordinance 6. Lease Resolution	Mayor & Council
V.	PUBLIC COMMENTS <i>Comments shall be limited to three (3) minutes</i>	
VI.	SPECIAL PRESENTATION 1. Presentation on Japanese Knotweed	David Goodson
VII.	PUBLIC HEARING: 1. Greenpark Inn 2. CZ 2025-02 Laurel and Pine LLC	Planning Director Kevin Rothrock
VIII.	REGULAR AGENDA: 1. TDA Board Appointment – For Vacancy	Council

VIII.	OFFICIALS REPORTS & COMMENTS: 1. Mayor 2. Council Members 3. Town Attorney 4. Town Manager	
IX.	CLOSED SESSION – NCGS 143-318.11. (a)(5) Discussion of potential property acquisition and NCGS 143-318.11. (a)(6) Personnel	
X.	ADJOURNMENT/RECESS... <i>Mayor Charles Sellers entertains a motion and second to adjourn or recess the meeting</i>	

DRAFT
MINUTES
Town of Blowing Rock
Town Council Meeting
October 14, 2025

The Town of Blowing Rock Town Council met for their regular monthly meeting on Tuesday, October 14, 2025, at 6:00 p.m. The meeting took place at Town Hall located at 1036 Main Street, Blowing Rock, NC. Present were Mayor Charlie Sellers, Mayor Pro-Tem Doug Matheson, Council Members Cat Perry, David Harwood, Melissa Pickett and Pete Gherini. Others in attendance were Town Manager Shane Fox, Town Attorney Joey Petrack, Town Engineer Jared Wright, Planning Director Kevin Rothrock, Police Chief Nathan Kirk, Parks and Recreation Director Jennifer Brown, Finance Director Tasha Brown, IT Director Thomas Steele, Landscape Director Cory Cathcart and Town Clerk Hilari Hubner, who recorded the minutes.

CALL TO ORDER

Mayor Sellers called the meeting to order at 6:00 p.m. and welcomed everyone. Mayor Sellers verified attendance via roll call.

THE PLEDGE OF ALLEGIANCE

MINUTE APPROVAL

Council Member Gherini made the motion to approve the minutes from September 9, 2025, regular session and closed session, seconded by Council Member Pickett. Unanimously approved.

REGULAR AGENDA ADOPTION

Council Member Harwood made a motion to adopt the regular agenda, seconded by Council Member Perry. Unanimously approved.

CONSENT AGENDA

- 1. Budget Amendment - #2025-17**
- 2. Fireworks Permit – Blowing Rock Country Club**
- 3. Daughters of the American Revolution Proclamation for Constitution Week**

Mayor Pro-Tem Matheson made a motion to approve the consent agenda as presented, seconded by Council Member Pickett. Unanimously approved.

SPEAKERS FROM THE FLOOR

Trisha Aiken – 252 Heather Ridge LN spoke regarding safety concerns with traffic and speeding on Greenhill Road. She explained the traffic has changed since the “Greenhill Traffic Study” was done in 2021 and that road is used as a cut through for people going from Boone to the other side of Highway 321. Ms. Aiken further explained she and many of her elderly neighbors walk and with no sidewalks on Greenhill Road, there is no choice

but to walk on Greenhill Road to get to Wonderland Drive or Heather Ridge Lane. She noted this is a residential neighborhood, a very narrow road and the speed limit is 25 on Greenhill Road. She further noted the previous traffic study only addressed the Blowing Rock portion of Greenhill Road and Ms. Aiken would like to request Council do more to get the state to help with this issue and asked if the Police Department could set up speed traps or speed signs. In conclusion she pleaded for Council's help to alleviate this issue.

Lynda Lasseter – 559 Morningside Dr thanked Parks and Recreation Director Jennifer Brown for allowing the Tai Chi classes to take place in the Rec Center every Tuesday morning at 10:00 A.M. and thanked the Town Crew for vacuuming up the leaves on Morningside Drive.

Melissa Tausche – 1741 Sunset Dr concurred with Ms. Aiken about the danger of Greenhill Road. Ms. Tausche explained she had been doing research on ongoing topics Council has addressed over the years and wanted to offer her suggestion. She further explained when Council hires consultants to look into a particular topic, she and the citizens would appreciate feedback and would like to see action taken as town money is being spent to hire these consultants.

SPECIAL PRESENTATION

Manager Shane Fox recognized the recent retirement of Tim Everhart with forty (40) years of service to the Town of Blowing Rock at the Water Plant.

REGULAR AGENDA

1. Valley View Bid Award

Town Manager Shane Fox stated on September 27, 2024, Hurricane Helene caused a catastrophic slope failure on Valley View Road at the intersection of Old Orchard, completely severing access to the Old Orchard community. The Town, in coordination with a contractor, successfully constructed a temporary access road to allow residents to reach their homes. Since then, Town Staff has worked diligently with FEMA and Town engineering firm McGill Associates to develop a comprehensive scope of work for the permanent repair of the slope and road access. After numerous meetings and months of collaborative effort, the scope was finalized, allowing the Town to move forward with the bid solicitation process.

The Town began soliciting bids for the permanent repair project on August 26, 2025. The initial bid opening was held on September 25, 2025. Unfortunately, the Town received only one bid at that time. The project was subsequently rebid with a second bid opening held on October 9, 2025.

At the October 9th bid opening, the town received and opened one bid from Mountain Crest, LLC in the amount of \$985,000.

Town staff, in consultation with McGill and FEMA, recommend that the Town Council approve the bid received from Mountain Crest, LLC in the amount of \$985,000 for the

permanent repair of the Valley View Road slope failure.

Manager Fox stated this is a five hundred (500) plus length slide and approximately three hundred (300) feet in elevation change just to give an idea of the severity of the slide.

Town Engineer Jared Wright stated this was a catastrophic road failure and when McGill began looking at the project, they also consulted Geotechnical Engineers with Catawba Valley Engineering and Testing to assist McGill with testing and determining the best replacement method for this roadway. He explained they had explored building the road back as it was before, but unfortunately due to bedrock and conditions underground that was not a valid option. Instead, they had to investigate a more permanent solution which Mr. Wright explained the process. Mr. Wright concluded both McGill and FEMA feel very confident in the method of repair.

Manager Fox noted staff has worked with FEMA daily over the last year and this is the last remaining project left to be completed and this project is fully reimbursable from FEMA. Approving this bid will allow the Town to move forward with the permanent restoration of critical infrastructure and ensure safe, reliable access to Valley View and Old Orchard. Manager Fox further noted the timeline for work may take some time due to the timing of the year and going into the winter months.

Council Member Gherini made a motion to approve the bid from Mountain Crest LLC in the amount of \$985,000 as presented, seconded by Council Member Harwood. Unanimously approved.

OFFICIAL REPORTS & COMMENTS

- Mayor Sellers – Thanked everyone for attending the meeting. He encouraged everyone to have patience and be very careful with lots of visitors and traffic in Town. Reminded all that election day is November 4th and encouraged everyone to get out and vote.
- Council Member Perry – None
- Council Member Harwood – He thanked the Town Staff, Council, Manager Fox, Attorney Joey Petrack and everyone who extended their condolences to him and his family with the passing of his mother. He expressed his gratitude for living in such a small town that is so warm and caring. It meant so much to him and his family.
- Council Member Pickett – None
- Mayor Pro-Tem Matheson – Gave an update from his RISK Management Conference he recently attended which included Cyber Ransom (going up), Commercial Auto Liability (going up), FEMA will be restructured, House Bill 369 – the parking- is still out there, House Bill 627 – accessory housing is still being discussed, Senate Bill 382 – downzoning is looking to come back in the spring, Humana letters have been sent out and body armor grants are still being offered.
- Council Member Gherini – As Chairman of the Economic Development the board has been given notice the owners of the Boone Golf Course held a meeting recently to say the property is going to be sold and the possibility of condos and

cutting the course down to a nine-hole golf course. Early voting starts October 16th, and you can vote at the courthouse or student union and election day, November 4th at the American Legion.

- Town Attorney Joey Petrack – None
- Town Manager Shane Fox – Gave an update on Memorial Park, Audit, Website, Big Weekend Ahead – Valle Fair, Wolly Worm Festival and APP State Homecoming Football Game, and a “Thank You” to Bob and Susan Hambright and the Village Foundation for lunch.

EXECUTIVE SESSION

At 6:35 p.m. Council Member Perry made a motion to go into closed session pursuant to NCGS 143-318.11.(a)(5) – discussion of potential property acquisition and NCGS 143-318.11 (a)(6) - personnel, seconded by Council Member Gherini. Unanimously approved.

ADJOURNMENT

At 7:40 p.m. Council returned to open session. With no further action, Council Member Gherini made a motion to adjourn, seconded by Council Member Pickett. Unanimously approved.

MAYOR _____
Charlie Sellers, Mayor

ATTEST _____
Hilari Hubner, Town Clerk

Attachments

Budget Amendment #2025-18 – Attachment A

Project Ordinance – Attachment B

Tax Releases – Attachment C



Town of Blowing Rock

1036 Main Street ★ Post Office Box 47 ★ Blowing Rock, North Carolina 28605

To: Mr. Shane Fox, Mayor Sellers, and Members of Town Council
From: Tasha Brown, Finance Officer
Subject: Budget Amendment Ordinance to Account for Various Items
(Ordinance #2025-19)
Date: November 12, 2025

Enclosed please find a Budget Amendment Ordinance for the fiscal year 2025-2026 for your consideration.

Section 1 (General Fund) allocates funding as follows:

- Allocates funds (\$1,500) donated by the Blowing Rock Garden Club towards the cost for Landscaping employee development. This allocation has been directed towards Employee Development – Landscaping.

Section 2 (General Fund) allocates funding as follows:

- Allocates funds (\$1,000) donated to the Police Department by the Blowing Rock Methodist Church towards needed materials/supplies for public safety. This allocation has been directed towards Materials/Supplies – Police.

Section 3 (General Fund) allocates funding as follows:

- Allocates funds (\$3,200) donated to Parks & Recreation for Memorial Park Tree/Benches. This allocation has been directed towards Materials/Supplies – P&R.

Section 4 (General Fund) allocates funding as follows:

- Allocates fund balance (\$40,000) for the increased costs of legal fees for the Town. This allocation has been directed towards Legal Services – Central Govt.

Section 5 (General Fund) allocates funding as follows:

- Allocates fund balance (\$6,000) for a temporary part-time position in the Planning & Inspections department. This allocation has been directed towards Salaries – P&I.

Section 6 (Water/Sewer Fund) allocates funding as follows:

- Allocates fund balance (\$11,000) allocated from the FY 25 Capital Equipment Loan to cover the cost of an engine replacement in a Field Ops fleet vehicle. This allocation has been directed towards Maint/Repair Equip. – Field Ops

Section 7 (General and Water/Sewer Fund) allocates funding as follows:

- Allocates fund balance (\$37,790) to cover the increased employer rate for the North Carolina State Health Plan that is effective January 1st and due/payable December 1st. This allocation has been directed towards Group Insurance. – Various Departments

Please let me know if you need further details on the proposed amendment.

Be it ordained by the Town Council of the Town of Blowing Rock, North Carolina, that the following amendment be made to the annual budget ordinance for the fiscal year ending June 30, 2026:

Section 1. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-80-6500-014	Employee Development	\$ 2,000	\$ -	\$ 1,500	\$ 3,500
			\$ -	\$ 1,500	

This will result in a net increase of \$1,500 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-358	Donations	\$ -	\$ -	\$ 1,500	\$ 1,500
			\$ -	\$ 1,500	

Section 2. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-10-4310-033	Materials/Supplies	\$ 53,000	\$ -	\$ 1,000	\$ 54,000
			\$ -	\$ 1,000	

This will result in a net increase of \$1,000 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-358	Donations	\$ -	\$ -	\$ 1,000	\$ 1,000
			\$ -	\$ 1,000	

Section 3. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-80-6100-033	Materials/Supplies	\$ 47,400	\$ -	\$ 3,200	\$ 50,600
			\$ -	\$ 3,200	

This will result in a net increase of \$3,200 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-358	Donations	\$ -	\$ -	\$ 3,200	\$ 3,200
			\$ -	\$ 3,200	

Section 4. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-4200-003	Legal Services	\$ 88,450	\$ -	\$ 40,000	\$ 128,450
			\$ -	\$ 40,000	

This will result in a net increase of \$30,000 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-399	Appropriated Fund Balance	\$ -	\$ -	\$ 40,000	\$ 40,000
			\$ -	\$ 40,000	

Section 6. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-40-4350-002	Salaries - P&I	\$ 324,968	\$ -	\$ 6,000	\$ 330,968
			\$ -	\$ 6,000	

This will result in a net increase of \$6,000 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-399	Appropriated Fund Balance	\$ -	\$ -	\$ 6,000	\$ 6,000
		\$ -	\$ -	\$ -	\$ -
			\$ -	\$ 6,000	

Section 6. To amend the Water/Sewer Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
30-91-7130-016	Maint./Repair Equip. - Field Operations	\$ 10,000	\$ -	\$ 11,000	\$ 21,000
			\$ -	\$ -	

This will result in a net increase of \$11,000 in the appropriations of the Water/Sewer Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
30-91-3400-399	Fund Balance Appropriated	\$ -	\$ -	\$ 11,000	\$ 11,000
			\$ -	\$ 11,000	

Section 7. To amend the General Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-4110-006	Group Insurance - Governing Board	\$ 33,887	\$ -	\$ 1,420	\$ 35,307
10-00-4130-033	Group Insurance - Finance/Admin	\$ 74,104	\$ -	\$ 2,840	\$ 76,944
10-10-4310-006	Group Insurance - Police	\$ 177,642	\$ -	\$ 8,970	\$ 186,612
10-10-4340-006	Group Insurance - Fire	\$ 175,146	\$ -	\$ 8,025	\$ 183,171
10-40-4350-006	Group Insurance - P&I	\$ 39,351	\$ -	\$ 1,890	\$ 41,241
10-20-4500-006	Group Insurance - Street	\$ 78,642	\$ -	\$ 3,780	\$ 82,422
10-30-4700-006	Group Insurance - Sanitation	\$ 29,653	\$ -	\$ 1,420	\$ 31,073
10-80-6100-006	Group Insurance - P&R	\$ 58,697	\$ -	\$ 2,360	\$ 61,057
10-80-6500-006	Group Insurance - Landscaping	\$ 38,898	\$ -	\$ 1,890	\$ 40,788
		\$ -	\$ -	\$ -	\$ -
			\$ -	\$ 32,595	

This will result in a net increase of \$32,595 in the appropriations of the General Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
10-00-3400-399	Appropriated Fund Balance	\$ -	\$ -	\$ 32,595	\$ 32,595
			\$ -	\$ 32,595	

Section 7. To amend the Water/Sewer Fund, the appropriations are to be changed as follows:

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
39-91-7110-006	Group Insurance - W/S Admin	\$ 19,475	\$ -	\$ 945	\$ 20,420
30-91-7120-006	Group Insurance - W/S Plant Ops	\$ 48,689	\$ -	\$ 2,360	\$ 51,049
30-91-7130-006	Group Insurance - W/S Field Ops	\$ 39,707	\$ -	\$ 1,890	\$ 41,597
			\$ -	\$ 5,195	

This will result in a net increase of \$5,195 in the appropriations of the Water/Sewer Fund. As a result, the following revenue will be increased.

<u>Acct. No.</u>		<u>Current Appropriation</u>	<u>Decrease</u>	<u>Increase</u>	<u>Proposed Appropriation</u>
30-91-3400-399	Fund Balance Appropriated	\$ -	\$ -	\$ 5,195	\$ 5,195
			\$ -	\$ 5,195	

Copies of this budget amendment shall be furnished to the Clerk to the Town Council and to the Finance Officer for their implementation.

Adopted this 12th day of November 2025.

Attested by:

Charles Sellers, Mayor

Hilari Hubner, Town Clerk



TOWN OF BLOWING ROCK

1036 Main Street • Post Office Box 47 • Blowing Rock, NC 28605

Release Request No: 2025-14

I Hereby Request Release of Tax Under G.S. 105-381 for the Following Year(s):

Assessment Release	Tax Release	Interest	Total	Tax Year
\$762,700	\$3,050.80		\$3,050.80	2025

Reason for Releases: Per Watauga County the above property (parcel 2817138598000 – Bill# 15510) needs to be released. This parcel was deactivated, and a new parcel was created, but in error both the old and the new parcels were billed.

Approved By: _____ Date: _____



TOWN OF BLOWING ROCK

1036 Main Street • Post Office Box 47 • Blowing Rock, NC 28605

Release Request No: 2025-15

I Hereby Request Release of Tax Under G.S. 105-381 for the Following Year(s):

Assessment Release	Tax Release	Interest	Total	Tax Year
\$2,633,400	\$10,533.60		\$10,533.60	2025

Reason for Releases: Per Watauga County the above property (parcel 2807970406000 Bill#16758) was sold and spit into several parcels. In error this original parcel was billed in addition to the new parcels. This parcel needs to be released.

Approved By: _____ Date: _____

MEMORANDUM

TO: Mayor Sellers and Blowing Rock Board of Commissioners
FROM: Brian Johnson, Zoning Enforcement Officer
SUBJECT: Middle Fork Greenway Easements – Headwaters of the New River, LLC
DATE: November 12, 2025

The Middle Fork Greenway project is progressing towards a tentative construction bid date of November 2025 and anticipating a construction start date of early 2026 for Phase 1A and 1C. Phase 1A will start at the current trailhead in front of Shoppes on the Parkway and end at the 4 Forty Four property. Phase 1C will begin at the Foley Center bridge through to the other end of their property. Phase 1B is still in the planning stages with that route connecting Phase 1A and Phase 1C along NCDOT right-of-way and the Blue Ridge Parkway property.

Attached for consideration is the needed Permanent and Temporary Construction Easements for the Headwaters of the New River, LLC. This is the last remaining easement needed for Phase 1A and 1C to begin.

RESOLUTION OF THE TOWN COUNCIL FOR
THE TOWN OF BLOWING ROCK TO ACCEPT DEDICATION TO THE PUBLIC
OF RIGHTS OF WAY AND EASEMENTS BY THE HEADWATERS OF THE
NEW RIVER, LLC

WHEREAS, the Town of Blowing Rock is a municipal corporation and public body established under the laws of the State of North Carolina for the representation of its citizens and residents; and

WHEREAS, the Town of Blowing Rock has authority pursuant to N.C. Gen. Stat. §160D-806 to accept ground offered for dedication to public use within its corporate boundaries for public purposes; and

WHEREAS, The Headwaters of the New River, LLC, a North Carolina Limited Liability Company, owns the certain tracts or parcels of land lying and being in the Town of Blowing Rock, Watauga County, North Carolina, as set out and recorded in Deed Book 1981 at Page 757, Watauga County, North Carolina, Public Registry, as shown on the map, attached thereto as Exhibit A and incorporated therein by reference, and as more particularly described in the description, attached thereto as Exhibit B and incorporated therein by reference, of the Greenway Easement and Dedication of Public Property and Temporary Construction Easement Agreement, as set out and recorded in Book 2457 at Page 888, Watauga County, North Carolina, Public Registry.; and

WHEREAS, the Town of Blowing Rock finds that it is in the best interest of the public health, safety, and general welfare of citizens of the Town of Blowing Rock to accept the offered dedication on the property named in this resolution.

NOW THEREFORE be it resolved by the Town Council of the Town of Blowing Rock as follows:

SECTION I. The Town of Blowing Rock accepts the dedication made to the public of lands or facilities for installing, constructing, and maintaining a paved trail to be used by the public for recreational purposes and associated fixtures such as benches, trash receptacles, and other items; preserving and enhancing the vegetation and stream bank in the area included within the Greenway Easement offered by The Headwaters of the New River, LLC, on certain tracts or parcels of land lying and being in the Town of Blowing Rock, Watauga County, North Carolina, as set out and recorded in Deed Book 1981 at Page 757, Watauga County, North Carolina, Public Registry, as shown on the map, attached thereto as Exhibit A and incorporated therein by reference, and as more particularly described in the description, attached thereto as Exhibit B and incorporated therein by reference, of the Greenway Easement and Dedication of Public Property and Temporary Construction Easement Agreement, as set out and recorded in Book 2457 at Page 888, Watauga County, North Carolina, Public Registry.

SECTION II. Acceptance of dedication of lands or facilities shall not place on the Town any duty to open, operate, repair, or maintain any street, utility line, or other land or facility except as provided by the ordinances, regulations, or specific acts of the Town, or as provided by the laws of the State of North Carolina.

SECTION III. This Resolution shall become effective upon adoption.

READ, CONSIDERED, PASSED AND APPROVED at a regular meeting of the Town Council of Blowing Rock, North Carolina, at which a quorum was present and which was held on the _____ day of November, 2025.

Adopted this the _____ day of November, 2025.

Charlie Sellers, Mayor

Attest:

_____(SEAL)
Hilari Hubner
Town Clerk

Consent Agenda - Staff Report

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Hilari Hubner, Town Clerk/Tax Collector

Subject: Policy for Releasing Taxes

Date: November 12, 2025

Request: For Council to adopt a similar policy that Watauga and Caldwell County have. The counties contact the Tax Collector when clerical errors, value adjustments etc. come up and need to be released accordingly. Staff would like Council to consider doing a mirrored policy to the counties that would allow the tax collector to make the adjustment/release instructed and then include a monthly report to Council noting if any adjustments/releases and the reason have been made for that month.

For clarification the Tax Collector doesn't make any value adjustments/releases without instruction from the tax accessing authority, which is the counties. This request is to just clean up our current policy and make it a more efficient process.

Background: Currently any tax adjustment/releases needing to be done cannot be completed by the Tax Collector without first having approval from the Town Council. The current procedure is the taxing county (either Watauga or Caldwell) will contact the tax collector to inform of the change, and the Tax Collector waits to do the adjustment once the Council approves that item on Consent Agenda. This process can be hindering to the process.



Town of Blowing Rock

1036 Main Street ★ Post Office Box 47 ★ Blowing Rock, North Carolina 28605

To: Mr. Shane Fox, Mayor Sellers, and Members of Town Council
From: Tasha Brown, Finance Officer
Subject: TS Helene Grant Project Ordinance (Amendment)
Date: November 12, 2025

Attached please find for your consideration an amended Grant Project Ordinance for Tropical Storm Helene. This amendment adds to the budget the approved contract expenditure for the Valley View Repair - Construction and Engineering cost and increases the FEMA Public Assistance Revenue to offset this expense.

AMENDMENT: ORDINANCE
2024 TROPICAL STORM HELENE
GRANT PROJECT ORDINANCE

BE IT ORDAINED by the Town of Blowing Rock that, pursuant to Section 13.2 of Chapter 159 of the General Statutes of North Carolina, the following special revenue grant project ordinance is hereby adopted:

Section I. The project authorized includes the Town of Blowing Rock's FEMA Public Assistance Disaster Project (4827DR-NC) known as "2024 Tropical Storm Helene Disaster Project".

Section II. The officers of the Town of Blowing Rock are hereby directed to proceed with the federal assistance project within the terms of the rules and regulations of the FEMA Public Assistance grants and the budget contained herein.

Section III. The following revenues are anticipated to be available to complete the project:

FEMA Public Assistance	\$ 1,763,700.00
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Section IV. The following amounts are appropriated for the project:

Salaries and Benefits	\$ 175,000.00
Repairs – Permanent Work	\$ 1,498,700.00
Debris	\$ 90,000.00

Section V. The finance officer is hereby directed to maintain sufficient specific detailed accounting records to provide the accounting to the grantor agency required by the grant agreement, Federal and State regulations.

Section VI. Funds may be advanced from other Town of Blowing Rock fund accounts for the purpose of making payments as due. Reimbursement requests should be made to the grantor agency following the regulations and rules of the grant.

Section VII. The finance officer is directed to report as requested on the financial status of the project element in Section IV and on the total revenues received or claimed.

Section VIII. The budget officer is directed to include an analysis of costs and revenues on this project as requested by the Council.

Section IX. Copies of this Project Budget Ordinance shall be made available to the budget officer for direction in carrying out this project.

This ordinance shall become effective upon adoption.

Adopted as submitted on this 12th day of November 2025 at Blowing Rock, North Carolina.

Charles Sellers, Mayor

Attest:

Hilari Hubner, Town Clerk

RESOLUTION OF THE TOWN COUNCIL FOR
THE TOWN OF BLOWING ROCK TO AUTHORIZE TOWN MANAGER TO
EXECUTE A LEASE OF THE HISTORIC ICE HOUSE BUILDING

WHEREAS, the Town of Blowing Rock is a municipal corporation and public body established under the laws of the State of North Carolina for the representation of its citizens and residents; and

WHEREAS, the Town of Blowing Rock is the record owner of the property known as the Historic Ice House Building located at 140 Maple Street, Blowing Rock, North Carolina bearing Watauga County Parcel Identification No. 2807-98-4167-000 (hereinafter “Premises”); and

WHEREAS, Studio M Salon, Inc., a North Carolina corporation and current tenant of the Premises under an existing commercial lease term expiring on December 31, 2025, has requested to enter into a new lease (hereinafter the “Lease”) of the Premises with the Town of Blowing Rock for a term of one year, beginning on January 1, 2026 and ending on December 31, 2026, with the same material conditions and requirements in effect during Year 3 of the existing lease; and

WHEREAS, the Town Council has authority pursuant to N.C. Gen. Stat. § 160A-272 to lease property owned by the Town of Blowing Rock; and

WHEREAS, public notice is not required for leases with terms of one year or less, pursuant to 160A-272(b); and

WHEREAS, the Town of Blowing Rock has authority pursuant to N.C. Gen. Stat. § 160A-272(b) to delegate to the Town Manager of Blowing Rock authority to lease the Town of Blowing Rock property for terms of one year or less; and

NOW THEREFORE be it resolved by the Town Council of the Town of Blowing Rock as follows:

1. The Premises is not needed by the Town of Blowing Rock during the term of the Lease; and

2. The Town Manager is authorized to execute a commercial lease for a term not to exceed one year, beginning on January 1, 2026 and ending on December 31, 2026, for the Premises owned by the Town of Blowing Rock with Studio M Salon, Inc., a North Carolina corporation, with the same material conditions and requirements in effect during Year 3 of the existing lease, upon the Town Attorney's approval of the lease form and any other legal requirements.

3. This Resolution shall become effective upon adoption.

READ, CONSIDERED, PASSED AND APPROVED at a regular meeting of the Town Council of Blowing Rock, North Carolina, at which a quorum was present and which was held on the _____ day of November, 2025.

Adopted this the _____ day of November, 2025.

Charlie Sellers, Mayor

Attest:

_____(SEAL)
Hilari Hubner
Town Clerk

TO: Mayor Charlie Sellers and the Blowing Rock Town Council

FROM: Kevin Rothrock, Planning Director

SUBJECT: Amendment to CZ 2024-04 Conditional Rezoning from R-6M to CZ-GB –
Green Park Inn

APPLICANT: John Winkler

DATE: November 4, 2025

REQUEST

John Winkler (Applicant) is requesting an amendment to the conditional rezoning ordinance of the Green Park Inn property at 9239 Valley Blvd. The request is for a reduction in the 16-foot opaque buffer on the western property line adjacent to the Blowing Rock Country Club (BRCC) golf course hole # 4 green and the hole # 5 tee along Goforth Road. Based on the site layout, the rear decking overhang of the condos extended further over the parking area than expected. Accordingly, the Applicant needs four (4) additional feet in the parking lot for clearances and they wanted to reduce the buffer by four (4) feet to gain the space. By reducing the buffer, the parking lot space depth (19 feet) and drive aisle width (24 feet) will still meet the minimum code standards.

In summary, the Applicant's request is to reduce the opaque buffer width along the BR golf course by four (4) feet from 16 to 12 feet.

ATTACHMENTS

1. Ordinance No. 2025-02 with Exhibits A and B – final signed version approved in February 2025
2. Modified site plans showing reduced buffer width

ORDINANCE NO. 2025-02**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE
TOWN OF BLOWING ROCK;
CREATING THE GREEN PARK INN
CONDITIONAL ZONING DISTRICT (CZ-GB)**

WHEREAS, the Town of Blowing Rock has the authority, pursuant to Chapter 160D-703 of the North Carolina General Statutes, to adopt zoning regulations, to establish zoning districts and to classify property within its jurisdiction according to zoning district, and may amend said regulations and district classifications from time to time in the interest of the public health, safety and welfare; and

WHEREAS, this Ordinance is consistent with NC General Statutes 160D-703, establishing conditional zoning districts in local zoning jurisdictions; and

WHEREAS, this Ordinance is consistent with the Town's 2024 Comprehensive Plan Update for the reasons set out herein; and

WHEREAS, the Town of Blowing Rock has reviewed the proposed ordinance and recommends its enactment by the Board of Commissioners;

NOW, THEREFORE, THE TOWN OF BLOWING ROCK BOARD OF COMMISSIONERS, MEETING IN REGULAR SESSION AND WITH A MAJORITY OF THE BOARD MEMBERS VOTING IN THE AFFIRMATIVE, HEREBY ORDAINS THE FOLLOWING.

Section One. Upon petition of John Winkler, the Official Zoning Map of the Town of Blowing Rock is hereby amended to create the Green Park Inn Conditional Zoning District (CZ-GB, General Business) as more particularly set forth herein.

Section Two. This Ordinance is found to be consistent with the Town of Blowing Rock 2024 Comprehensive Plan Update, particularly with the vision statement, "With a focus on preserving its historic downtown, quaint neighborhoods, and the natural beauty of the mountain landscape, Blowing Rock will facilitate growth that complements the character of the Town"

Section Three. The zoning classification of that certain real property shown on the aerial photo map, attached hereto as **Exhibit A** and made a part hereof, is currently zoned R-6M, Multi-family. The proposed zoning is to CZ-GB, General Business. Said property is also identified as Watauga County PIN 2817-42-2568-000 and in Caldwell County by NC PIN 2817425328.

Section Four. The Green Park Inn Conditional Zoning District is a conditional zoning district established pursuant to the Land Use Ordinance of the Town of Blowing Rock by means of

authority granted by the North Carolina General Statutes. Future development and use of lands situated within the Green Park Inn Conditional Zoning District, and the processing of applications to develop and use such lands, shall comply with the conditions set forth on the document entitled, Green Park Inn Conditional Zoning District: List of Standards & Conditions, which is attached to this ordinance as **Exhibit B** and incorporated herein. The aforementioned List of Standards & Conditions, made a part thereof, shall run with the land and shall be binding on John Winkler, his heirs and assigns.

Section Five. Pursuant to Section 16-9.6 of the Town of Blowing Rock Land Use Ordinance, the Master Plan replaces all conflicting development regulations set forth in the Land Development Standards, and such development regulations are varied to the extent they conflict with the Master Plan and List of Standards & Conditions. The Master Plan specifically includes the architectural plans (January 8, 2025) and civil engineering and site plans (January 8, 2025) submitted to Town Council and subsequent construction drawings revised as a result of additional conditions imposed by Town Council after the February 11, 2025 public hearing. Construction drawings include at a minimum: site plan, utility plan, grading plan, landscape plan, and architectural plan and elevations. Any substantial change to the Master Plan as noted below shall be reviewed by the Planning Board and approved or denied by the Town Council as an amended conditional zoning district. The following changes to the Master plan shall require approval by the Town Council:

- (a) Land area being added or removed from the conditional district.
- (b) Modification of special performance criteria, design standards, or other requirements specified by the enacting ordinance.
- (c) A change in land use or development type beyond that permitted by the approved master plan.
- (d) When there is introduction of a new vehicular access point to an existing street, road or thoroughfare not previously designated for access.
- (e) Hours of operation and/or delivery hours.

All other changes to the Master plan shall receive approval by the Administrator. However, if in the judgment of the Administrator, the requested changes alter the basic development concept of the Conditional Zoning District, the Administrator may require concurrent approval by the Town Council.

Section Six. The subject property was a legal nonconforming use as a historic hotel being zoned R-6M, Multi-family. With the Green Park Inn being a historic property listed on the National Register of Historic Places, Section 16-8.3.5 of the Land Use Ordinance allowed up to 50% expansion of the existing structures and facilities. With approval of this conditional rezoning, the nonconforming status is removed and there is no limitation of expansion of the structures or facilities.

Section Seven. Enactment of this Ordinance constitutes the approval of a site-specific development plan resulting in the establishment of a vested right, pursuant to N.C.G.S. 160D-108, to undertake and complete the development and use of the property under the terms and

conditions specified in the Master Plan and the List of Standards & Conditions. Such vested right shall have a term of two years from the date of adoption of this Ordinance.


Section Eight. The Office of the Zoning Administrator is hereby authorized and directed to modify the Town's Official Zoning Map consistent with this Ordinance.

Section Nine. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of the ordinance.

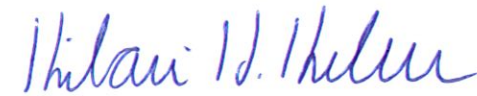
Section Ten. All ordinances or portions thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section Eleven. This ordinance shall be in full force and effect from and after the date of adoption.


Adopted this 11 day of February, 2025.


Mayor


ATTEST:


Town Clerk

Consented to by:
Applicant:

By: 
John T. Winkler

Owner: Green Park BR, LLC

By: 
John Winkler, Manager

By: 
William Warden, Manager

By: 
William Miller, Manager

Ord No. 2025-02:
CZ 2024-04 Green Park Inn
R-6M to CZ-GB



Exhibit A

Exhibit B

Green Park Inn Conditional Zoning District
Conditional Zoning – GB
PINs 2817-42-2568-000
9239 Valley Blvd

List of Standards & Conditions

Applicant Proposed Conditions:

1. No sidewalk to be required along Green Hill Road
2. Allow a density of up to six (6) dwelling units per acre for a total of twenty (20) dwelling units exclusive of the proposed hotel.







Conditions added by Town Council during Public Hearing and agreed to by Applicant:

1. Approval of Applicant Conditions # 1 and # 2
2. The appropriate number of required parking spaces be provided by the Applicant based upon the particular land use under the Town Development Ordinance in effect at the time of approval.
3. Waiver of Section 16-21.4.4 of the Town of Blowing Rock Land Use Ordinance, which requires the wall area on the first floor of a building fronting a street to have at least 30 percent (30%) windows and doors.
4. Waiver of Land Use Section 16-21.4.5, which requires that the proposed condos and cottages shall be oriented so that a principal or primary facade faces each street on which the proposed condos and cottages fronts.
5. That any deviation from the proposed project plans come back to Council for an update.

- 1.) ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED PARKING LOT ARE SHOWN AT THE FACE OF CURB. ALL PROPOSED DIMENSIONS USED TO SHOW THE GEOMETRIC LAYOUT OF THE PROPOSED BUILDING LOCATION ARE GIVEN ON THE OUTSIDE FACE OF THE BUILDING CORNERS. ALL CURB RADII ARE GIVEN AT THE FACE OF CURB.
- 2.) CONTRACTOR SHALL NOTIFY ENGINEER OF ANY DISCREPANCIES BETWEEN THE EXISTING CONDITIONS IN THE FIELD AND THE SURVEY SHOWN ON THE PLANS BEFORE PROCEEDING WITH ANY NEW CONSTRUCTION.
- 3.) CONTRACTOR IS RESPONSIBLE TO MAINTAIN A CONSTANT HORIZONTAL AND VERTICAL ALIGNMENT OF ALL TIES BETWEEN PROPOSED AND EXISTING PAVEMENTS, CURB AND GUTTER, SIDEWALKS, WALLS, AND UTILITIES.
- 4.) ALL NEW UTILITIES SHALL BE UNDERGROUND.

- 1.) TRACT IS ZONED R6-M AND IS TO BE CONDITIONALLY REZONED TO G8 (GENERAL BUSINESS).
- 2.) SEE ARCHITECTURAL PLANS FOR BUILDING FLOOR PLAN DIMENSIONS, DOOR LOCATIONS, SITE LIGHTING PLAN, AND OTHER ARCHITECTURAL DETAILS.
- 3.) NO CERTIFICATE OF OCCUPANCY WILL BE ISSUED UNTIL ALL SITE IMPROVEMENTS HAVE BEEN COMPLETED ON THE SITE.
- 4.) HIGH INTENSITY LIGHTING FACILITIES SHALL BE SO ARRANGED THAT THE SOURCE OF ANY LIGHT IS CONCEALED FROM THE PUBLIC VIEW AND DOES NOT INTERFERE WITH TRAFFIC.
- 5.) ALL BUFFERS, TREE SAVING AREAS, AND UNDISTURBED AREAS SHALL BE CLEARLY IDENTIFIED BY FLAGGING AND/OR FENCING PRIOR TO COMMENCEMENT OF ANY LAND DISTURBANCE.
- 6.) NO OUTSIDE STORAGE IS PROPOSED. THIS INCLUDES SUPPLIES, VEHICLE, EQUIPMENT, PRODUCTS, ETC.
- 7.) SIGNS (LOCATION, NUMBER, AND SIZE) ARE NOT APPROVED UNDER THIS DEVELOPMENT PERMIT. A SEPARATE PERMIT IS REQUIRED FOR ON-SITE SIGNAGE.
- 8.) ALL PAVEMENT MARKING WITHIN NCDOT R/W SHALL BE CONSTRUCTED ACCORDING TO THE LATEST STANDARD SPECIFICATIONS.
- 9.) ALL CONSTRUCTION RELATED PERMITS DURING THE CONSTRUCTION PHASE OF THIS PROJECT ARE THE RESPONSIBILITY OF THE OWNER, HOWEVER A CONTRACTOR/DEVELOPER CAN DO PERMITTING WITH AGENT AUTHORIZATION.
- 10.) CONSTRUCTION TRAILERS ARE TO BE PERMITTED THROUGH THE ZONING DIVISION OF DEVELOPMENT SERVICES.
- 11.) ALL EROSION, SEDIMENT CONTROL AND TREE PROTECTION MEASURES SHALL BE INSTALLED PRIOR TO ANY GRADING.
- 12.) THE CONSTRUCTION ACCEPTS THE RESPONSIBILITY FOR THE AMERICANS WITH DISABILITIES ACT (ADA), EXCEPT FOR NOTIFICATION REQUIREMENT. THE OWNER/DEVELOPER IS SOLELY RESPONSIBLE FOR COMPLIANCE FOR SAID ACT.
- 13.) WHEN PROVIDED, DUMPSTER AND RECYCLING ENCLOSURES SHALL BE AESTHETICALLY AND FUNCTIONALLY COMPATIBLE WITH THE BUILDING BY PAINTING THE ENCLOSURE THE SAME COLOR AS THE BUILDING SIDING.
- 14.) 24 HOUR CONTACT: JASON GASTON, PE., 828-262-9807

BUILDING INFORMATION	
<u>EXISTING GREEN PARK INN & RESTAURANT BUILDING</u>	
PROPOSED # OF STORIES:	3
PROPOSED BUILDING HEIGHT:	SEE ARCHITECTURAL PLANS
<u>PROPOSED CONDOMINIUM BUILDING</u>	
PROPOSED # OF STORIES:	3 + BASEMENT PARKING
PROPOSED BUILDING HEIGHT:	SEE ARCHITECTURAL PLANS
PROPOSED UNIT MIX:	(3) 4BR/4.5 BA, (9) 3BR/3.5BA
<u>PROPOSED DUPLEXES</u>	
PROPOSED # OF STORIES:	2
PROPOSED BUILDING HEIGHT:	SEE ARCHITECTURAL PLANS
PROPOSED UNIT MIX:	(8) 3BR/3 BA

	LEGEND
	EXISTING CONCRETE
	PROPOSED CONCRETE
	PROPOSED SIGN
	PROPERTY LINE
	ADJACENT PROPERTY LINES
	PROPOSED PARKING SPACES



FILE NUMBER: 001-054

TO: Mayor Charlie Sellers and the Blowing Rock Town Council

FROM: Kevin Rothrock, Planning Director

SUBJECT: CZ 2025-01 Conditional Rezoning from CB to CZ-CB – Laurel and Pine

APPLICANT: Laurel and Pine, LLC

DATE: November 6, 2025

REQUEST

Laurel and Pine, LLC is requesting a new conditional rezoning of the Pine and Laurel townhomes property to Conditional Zoning – Central Business (CZ-CB). The 0.29 acre property is located between Pine Street and Laurel Lane and was approved for a conditional rezoning in 2021 for a 14-room hotel project and approved for 8 townhomes in November of 2024. The Applicant is now proposing the construction of 5 townhomes on the property. The property is further identified by Watauga County PINs 2807-87-8611-000, and 2807-87-7474-000.

SITE PLAN

General

This site was approved for a 14-room hotel in 2021. Initially the site was graded and underground utilities installed. Once building footers were dug and poured, the ownership paused with construction. The Applicant received approval last year to construct an 8-unit townhome project. The Applicant has modified the plans again and requests a conditional rezoning to build a 5-unit townhome project.

Setbacks

The applicable street setback for Central Business is 15 feet and is measured from the back of the existing/proposed sidewalk along each street. The proposed buildings meet the required street setbacks from both Pine and Laurel.

The side setback is 5 feet and the proposed buildings meet the side setbacks.

Building Height

The maximum building height for Central Business zoning was changed to 35 feet in November 2024. The previously approved town homes were allowed to be 39 feet 10 inches for the 2 middle units. The current plans show the middle unit roof to be at 37 feet 3 inches which is 2 feet shorter than the previously approved plans. There are two roof peaks on each side of the

townhomes with a roof height of 37 feet 1 inch. The Applicant has requested as a condition that the roof peaks be allowed to be increased up to 37 feet 3 inches for every additional 5 feet of horizontal distance from the 15-foot street setback.

Architectural Design

The building materials include heavy wooden beams, vertical wood siding, horizontal lap siding, stone veneer, stucco, architectural roof shingles and architectural stone veneer. Some metal roofing accents are planned for some shed dormers and eave overhangs.

Parking/Access

Access to the site will be through Pine Street, one-way through the site and exiting to Laurel Lane. The proposed project requires 15 parking spaces and those are provided in garage spaces and surface spaces.

Fire Access

Since fire apparatus cannot pass through the site but will serve the property from both streets, the building is required to be sprinkled.

Storm Water

The storm water runoff from the site will be conveyed to an onsite detention system and released to Pine Street. This system has already been installed with the previous hotel construction.

Utilities

Sewer has been connected to Pine Street. Water has been connected to Pine Street.

A hot box for the sprinkler system and backflow preventer has been installed along Laurel Lane. It has a bright silver cover that the Town is requesting be painted or changed out to a brown or green to blend in with the surroundings. This has been included as a condition of approval from the Applicant.

All electrical service will be provided underground.

Garbage Collection

Garbage collection will be through roll-out containers in an enclosure located on the east side of the property adjacent to Pine Street.

Landscaping

There is a significant buffer along Laurel Lane since the Town owns an area 20 feet from the back of the existing sidewalk. As part of the hotel project, the Applicant has removed the large white pines on the Town property and will replace with other trees.

Applicant Proposed Conditions

1. The properties must be combined by a recombination plat prior to issuance of a building permit.
2. Applicant must submit and receive approval of a method to camouflage and screen the hotbox already installed along Laurel Lane.
3. Building heights may step up beyond the 35' max height at a rate of 1' of vertical height for every additional 5' horizontal distance from the setback with a maximum height of 37' 3".

NEIGHBORHOOD MEETING

A neighborhood meeting was held at Town Hall on October 8, 2025.

PLANNING BOARD RECOMMENDATION

At their meeting on October 16th, the Planning Board made a recommendation to approve the conditional rezoning with the following conditions:

1. That the building height be limited to 35 feet
2. That stucco not be used as a building material

ATTACHMENTS

1. Ord No. 2025-01 Laurel and Pine - draft
2. Ord No. 2025-01 Laurel and Pine – Exhibit A
3. Applicant submitted conditions – Exhibit B – revised after Planning Board
4. Site, grading, utility, landscape plans and architectural elevations and floor plans
5. An elevation showing the 35-foot max height compared to the proposed 37' 3" height

ORDINANCE NO. 2025-01**AN ORDINANCE AMENDING THE OFFICIAL ZONING MAP OF THE
TOWN OF BLOWING ROCK;
CREATING THE LAUREL AND PINE
CONDITIONAL ZONING DISTRICT (CZ-CB)**

WHEREAS, the Town of Blowing Rock has the authority, pursuant to Chapter 160D-703 of the North Carolina General Statutes, to adopt zoning regulations, to establish zoning districts and to classify property within its jurisdiction according to zoning district, and may amend said regulations and district classifications from time to time in the interest of the public health, safety and welfare; and

WHEREAS, this Ordinance is consistent with NC General Statutes 160D-703, establishing conditional zoning districts in local zoning jurisdictions; and

WHEREAS, this Ordinance is consistent with the Town's 2024 Comprehensive Plan Update for the reasons set out herein; and

WHEREAS, the Town of Blowing Rock has reviewed the proposed ordinance and recommends its enactment by the Board of Commissioners;

NOW, THEREFORE, THE TOWN OF BLOWING ROCK BOARD OF COMMISSIONERS, MEETING IN REGULAR SESSION AND WITH A MAJORITY OF THE BOARD MEMBERS VOTING IN THE AFFIRMATIVE, HEREBY ORDAINS THE FOLLOWING.

Section One. Upon petition of Laurel and Pine, LLC, the Official Zoning Map of the Town of Blowing Rock is hereby amended to create the Laurel and Pine Conditional Zoning District (CZ-CB) as more particularly set forth herein.

Section Two. This Ordinance is found to be consistent with the Town of Blowing Rock 2024 Comprehensive Plan Update, particularly with the vision statement, "With a focus on preserving its historic downtown, quaint neighborhoods, and the natural beauty of the mountain landscape, Blowing Rock will facilitate growth that complements the character of the Town"

Section Three. The zoning classification of that certain real property shown on the aerial photo map, attached hereto as **Exhibit A** and made a part hereof, is currently zoned CZ-CB, Conditional Zoning-Central Business for Lucrum 7 Hotel from a previous rezoning ordinance (Ord. No. 2022-01), and for Pine and Laurel Townhomes (Ord. No. 2024-03). The proposed zoning is to CZ-CB Laurel and Pine Townhomes. Said property is also identified on Watauga County PINs 2807-87-8611-000, and 2817-87-7474-000.

Section Four. The Laurel and Pine Townhomes Conditional Zoning District is a conditional zoning district established pursuant to the Land Use Ordinance of the Town of Blowing Rock by means of authority granted by the North Carolina General Statutes. Future development and use of lands situated within the Laurel and Pine Townhomes Conditional Zoning District, and the processing of applications to develop and use such lands, shall comply with the conditions set forth on the document entitled, Laurel and Pine Conditional Zoning District: List of Standards & Conditions, which is attached to this ordinance as **Exhibit B** and incorporated herein. The aforementioned List of Standards & Conditions, made a part thereof, shall run with the land and shall be binding on Laurel and Pine, LLC, its heirs and assigns.

Section Five. Pursuant to Section 16-9.6 of the Town of Blowing Rock Land Use Ordinance, the Master Plan replaces all conflicting development regulations set forth in the Land Development Standards, and such development regulations are varied to the extent they conflict with the Master Plan and List of Standards & Conditions. The Master Plan specifically includes the architectural plans (October 6, 2025) and civil engineering and site plans (October 6, 2025) submitted to Town Council and subsequent construction drawings revised as a result of additional conditions imposed by Town Council after the November 12, 2025 public hearing. Construction drawings include at a minimum: site plan, utility plan, grading plan, landscape plan, and architectural plan and elevations. Any substantial change to the Master Plan as noted below shall be reviewed by the Planning Board and approved or denied by the Town Council as an amended conditional zoning district. The following changes to the Master plan shall require approval by the Town Council:

- (a) Land area being added or removed from the conditional district.
- (b) Modification of special performance criteria, design standards, or other requirements specified by the enacting ordinance.
- (c) A change in land use or development type beyond that permitted by the approved master plan.
- (d) When there is introduction of a new vehicular access point to an existing street, road or thoroughfare not previously designated for access.
- (e) Hours of operation and/or delivery hours.

All other changes to the Master plan shall receive approval by the Administrator. However, if in the judgment of the Administrator, the requested changes alter the basic development concept of the Conditional Zoning District, the Administrator may require concurrent approval by the Town Council.

Section Six. Enactment of this Ordinance constitutes the approval of a site-specific development plan resulting in the establishment of a vested right, pursuant to N.C.G.S. 160D-108, to undertake and complete the development and use of the property under the terms and conditions specified in the Master Plan and the List of Standards & Conditions. Such vested right shall have a term of two years from the date of adoption of this Ordinance.

Section Seven. The Office of the Zoning Administrator is hereby authorized and directed to modify the Town's Official Zoning Map consistent with this Ordinance.

Section Eight. If any section, subsection, sentence, clause or phrase of this ordinance is for any reason held to be invalid, such decision shall not affect the validity of the remaining portions of the ordinance.

Section Nine. All ordinances or portions thereof in conflict herewith are hereby repealed to the extent of such conflict.

Section Ten. This ordinance shall be in full force and effect from and after the date of adoption.

Adopted this _____ day of _____, 2025.

Mayor

ATTEST:

Town Clerk

CZ 2025-01 Laurel and Pine Townhomes
Conditional Rezoning (CZ-CB)



EXHIBIT A

Exhibit B

Pine and Laurel Townhomes Conditional Zoning District
Conditional Zoning – CB
PINs 2807-87-8611-000, and 2817-87-7474-000
Between Pine Street and Laurel Lane

List of Standards & Conditions

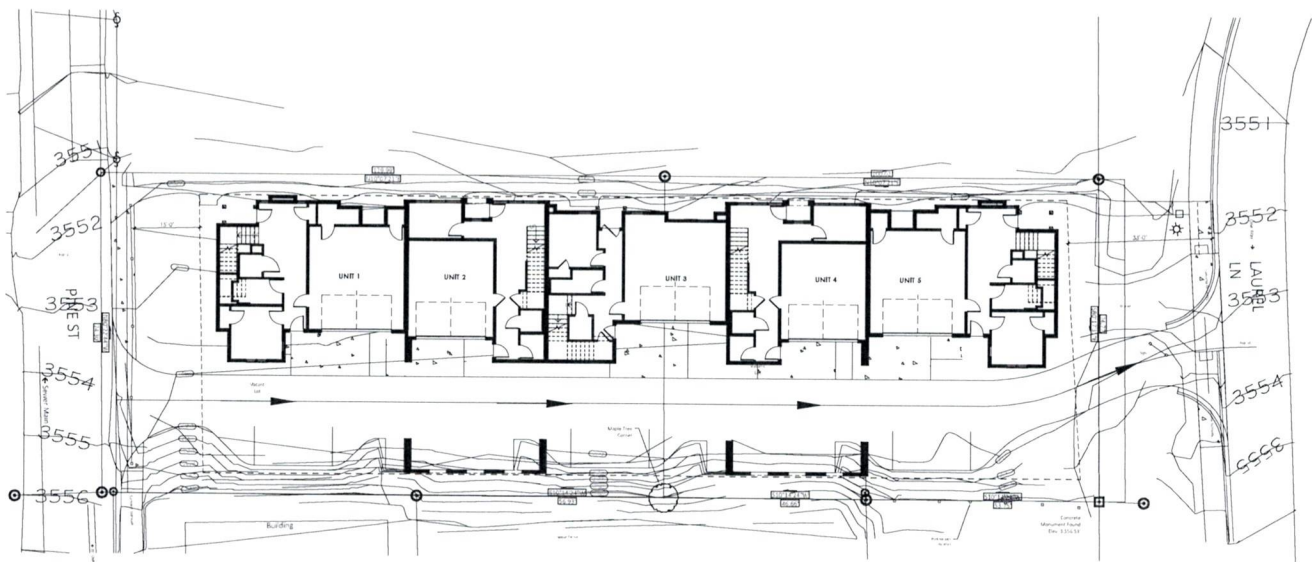
1. The properties must be combined by a recombination plat prior to issuance of a building permit.
2. Applicant must submit and receive approval of a method to camouflage and screen the all utilities installed addressing Pine and/or Laurel.
3. Building heights may step up beyond the 35' max height at a rate of 1' of vertical height for every additional 5' horizontal distance from the setback with a maximum height of 37'-3".



144 PINE ST BLOWING ROCK, NORTH CAROLINA

LAND USE REQUIREMENTS / CONDITIONS			
1. REQUIRED FOR ALL BUILDINGS 2. REQUIRED FOR ALL BUILDINGS 3. REQUIRED FOR ALL BUILDINGS			
PROPOSED	ALLOWED	PROHIBITED	PROHIBITED
LOT AREA	17,142 SF (0.39 AC)	17,142 SF (0.39 AC)	17,142 SF (0.39 AC)
LOT WIDTH	32.4 FT	32.4 FT	32.4 FT
BUILDING HEIGHT	32.4 FT	32.4 FT	32.4 FT
NUMBER OF UNITS	3 UNITS PER LOT	3 UNITS PER LOT	3 UNITS PER LOT
1. REQUIRED FOR ALL BUILDINGS 2. REQUIRED FOR ALL BUILDINGS 3. REQUIRED FOR ALL BUILDINGS			
SETBACKS	15' FRONT STREET FRONT YARD 5' REAR YARD (MINIMUM)	15' FRONT STREET FRONT YARD 5' REAR YARD (MINIMUM)	15' FRONT STREET FRONT YARD 5' REAR YARD (MINIMUM)
1. REQUIRED FOR ALL BUILDINGS 2. REQUIRED FOR ALL BUILDINGS 3. REQUIRED FOR ALL BUILDINGS			
1. REQUIRED FOR ALL BUILDINGS	1. REQUIRED FOR ALL BUILDINGS	1. REQUIRED FOR ALL BUILDINGS	1. REQUIRED FOR ALL BUILDINGS
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MIK ARCHITECTURE



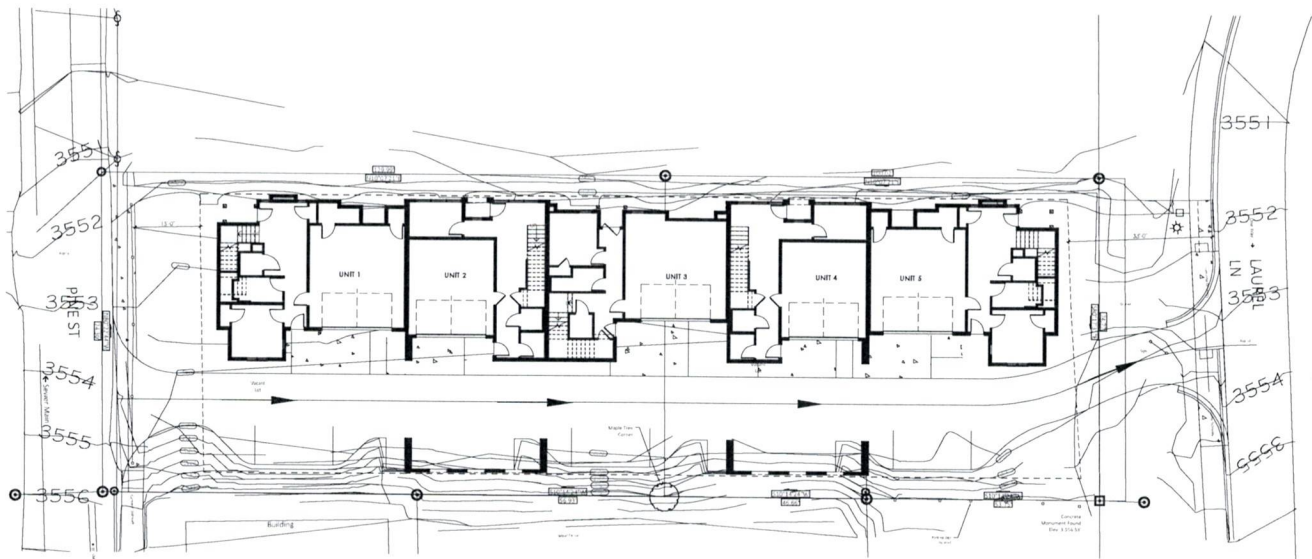
① SITE PLAN
SCALE: 1" = 12'-0"

SK1.11 | **MIK**ARCHITECTURE

100% ARCHITECTURAL CONCEPT © 2013

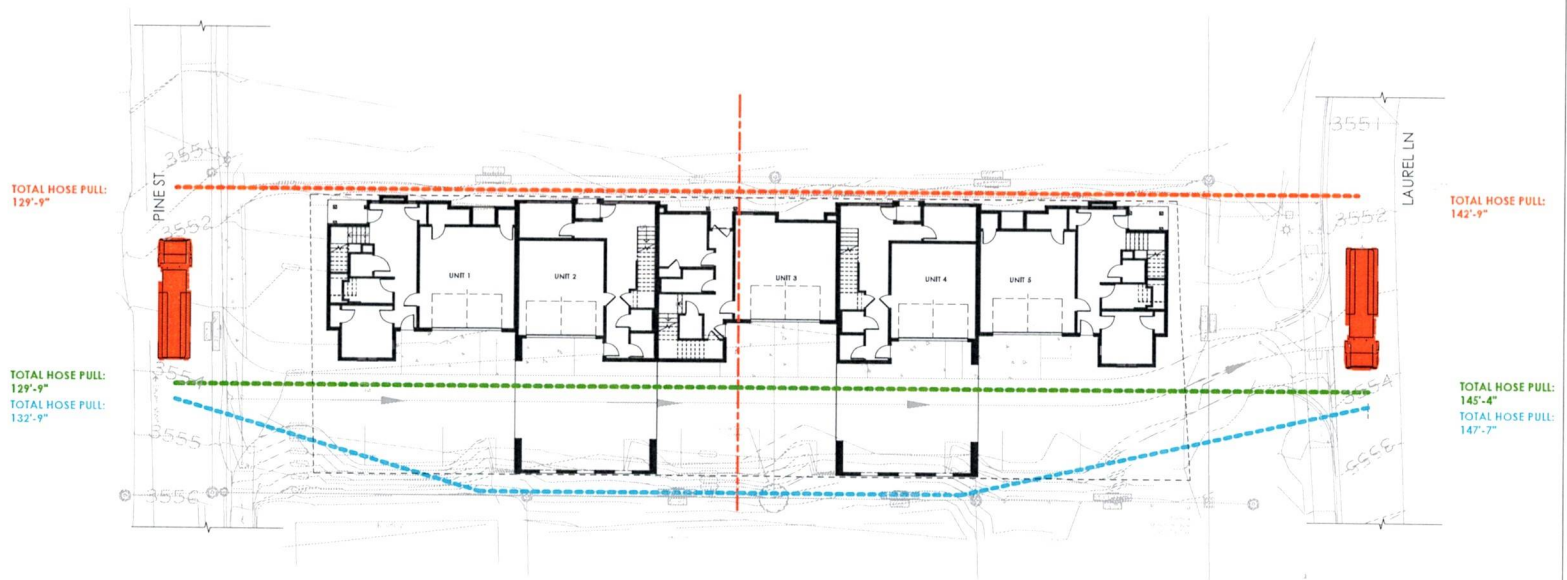


1100 ARCHITECTURE COPYRIGHT © 2023
MHK ARCHITECTURE



① SITE PLAN
SCALE: 1" = 10'-0"

SK1.11 | MHK ARCHITECTURE



① SITE PLAN
SCALE: 1" = 10'-0"

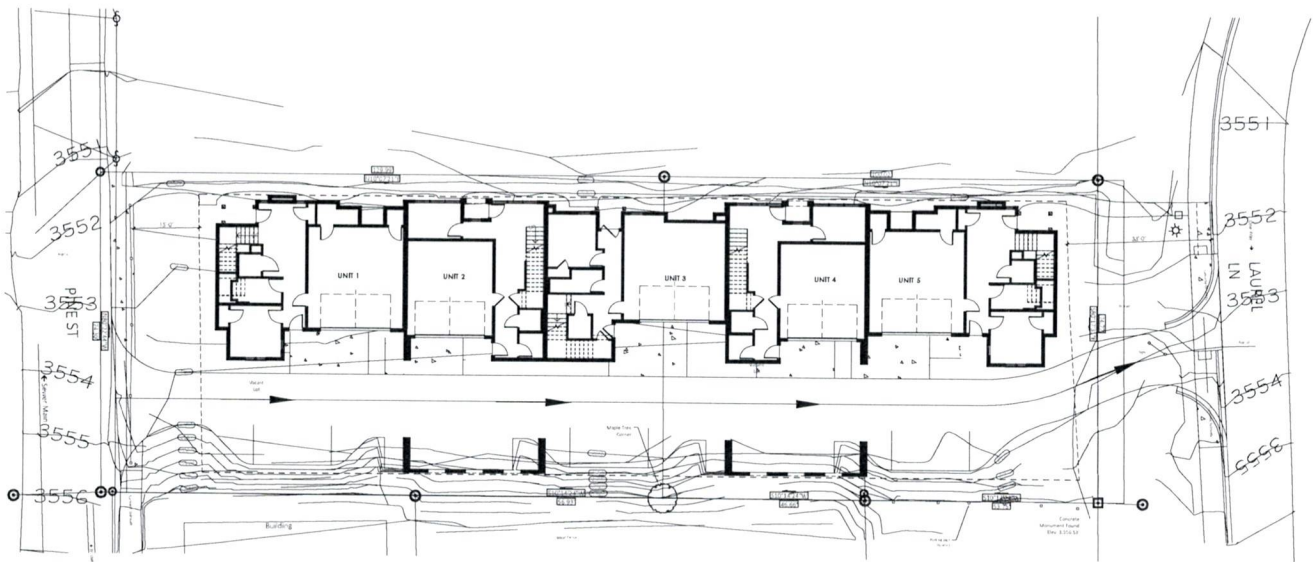
SK1 | MIAK ARCHITECTURE

100% ARCHITECTURAL CONCEPT & SITE



LINK ARCHITECTURE COPYRIGHT © 2023

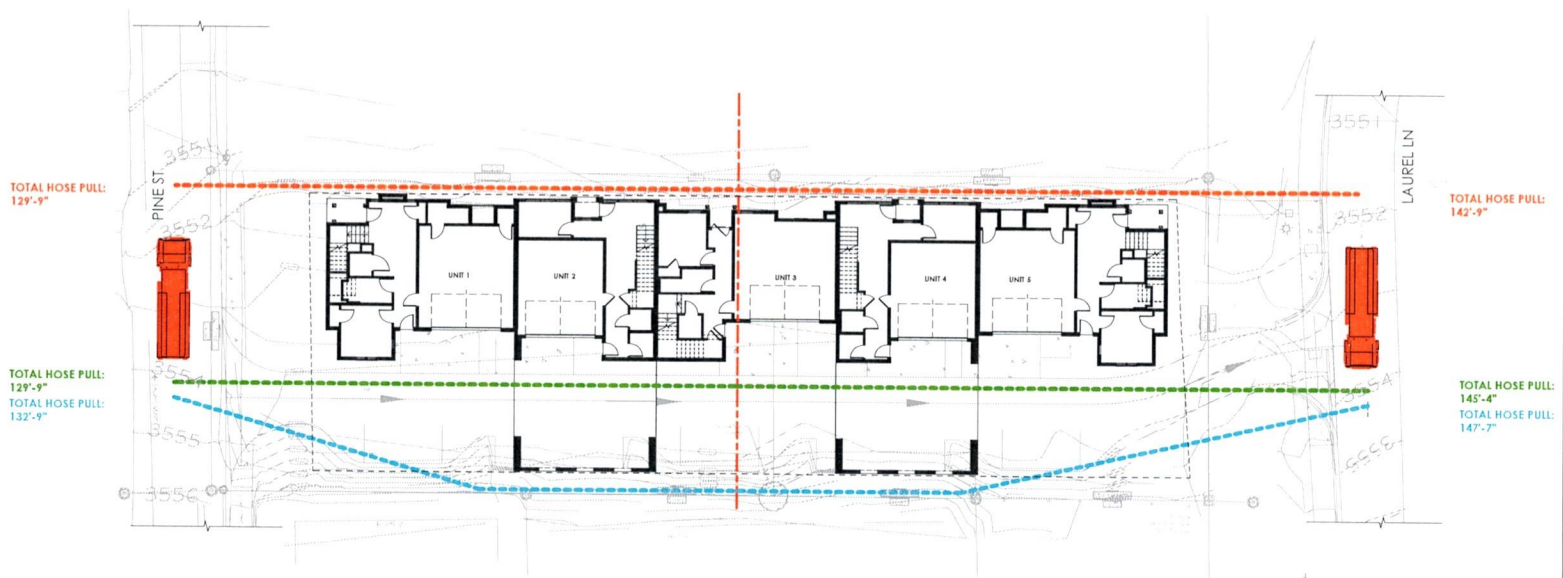
MHK ARCHITECTURE



① SITE PLAN
SCALE: 1" = 10'-0"

SK1.11 | **MIK**ARCHITECTURE

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① SITE PLAN
SCALE: 1" = 10'-0"

SK1 | MIK ARCHITECTURE





① 3D VIEW 1
SCALE



② 3D VIEW 2
SCALE



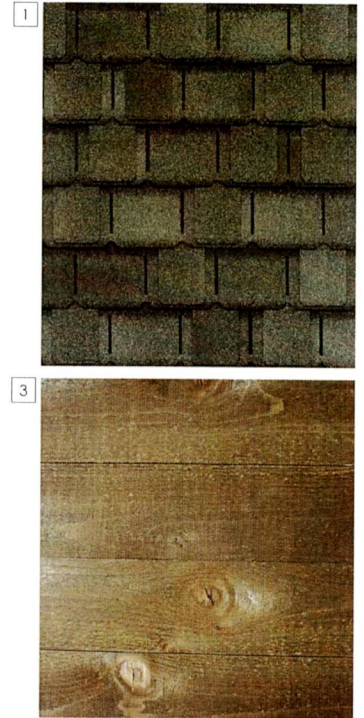
③ 3D VIEW 3
SCALE



④ 3D VIEW 4
SCALE

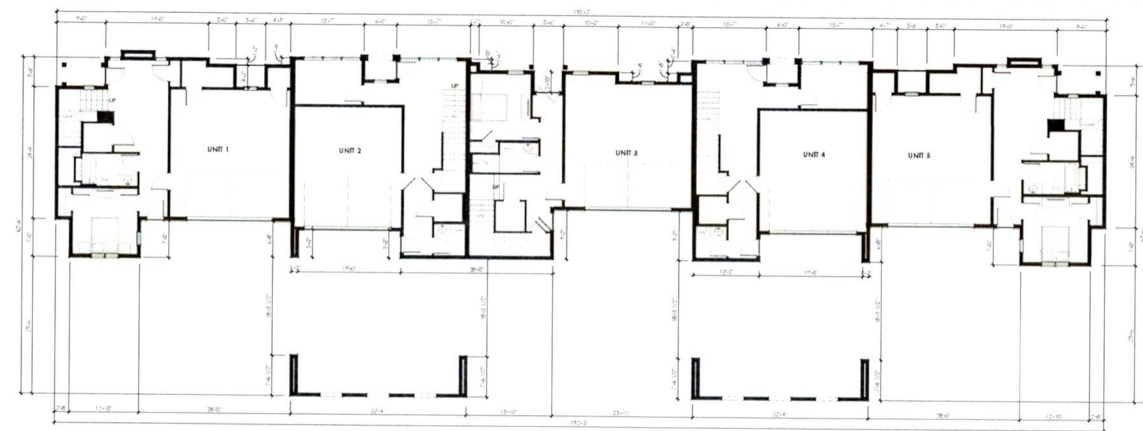
SK2 | **MIK**ARCHITECTURE

AIAA - ARCHITECTURAL CONCEPT © 2015

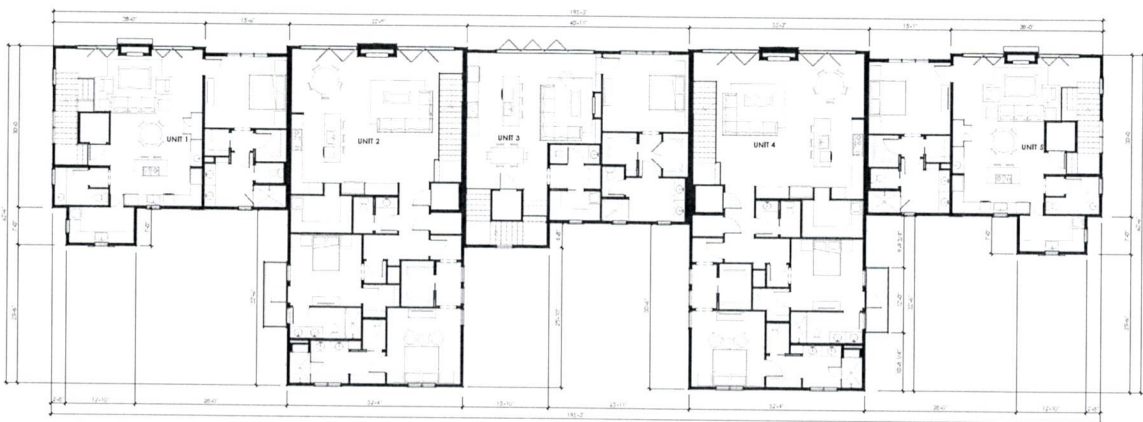


MATERIAL	MANUFACTURER	COLOR
1. ROOF	GAF CAMELOT II	ANTIQUE SLATE
2. ROOF	STANDING SEAM METAL ROOF	SLATE GRAY
3. WOOD SIDING	MONTANA TIMBER PRODUCTS	WIREBRUSHED CEDAR; AQUAFIR STAIN "OLYMPIC"
4. STONE CLADDING	GET REAL STONE NATURAL THIN VENEER	RANDOM ASHLAR; LAKE JAMES
5. METAL CLADDING	TBD	COLD ROLLED BLUE STEEL (PATINA'D)
6. WINDOWS & DOORS	WEATHERSHIELD	JET BLACK

SK4 | MIK ARCHITECTURE



AREA CALCULATIONS			
UNIT 1 & 2			
UNIT 1	1,400 SF	1,400 SF	
UNIT 2	1,400 SF	1,400 SF	
TOTAL HEATED			2,800 SF
UNIT 3 & 4			
UNIT 3	1,400 SF	1,400 SF	
UNIT 4	1,400 SF	1,400 SF	
TOTAL HEATED			2,800 SF
UNIT 5			
UNIT 5	1,400 SF	1,400 SF	
TOTAL HEATED			2,800 SF



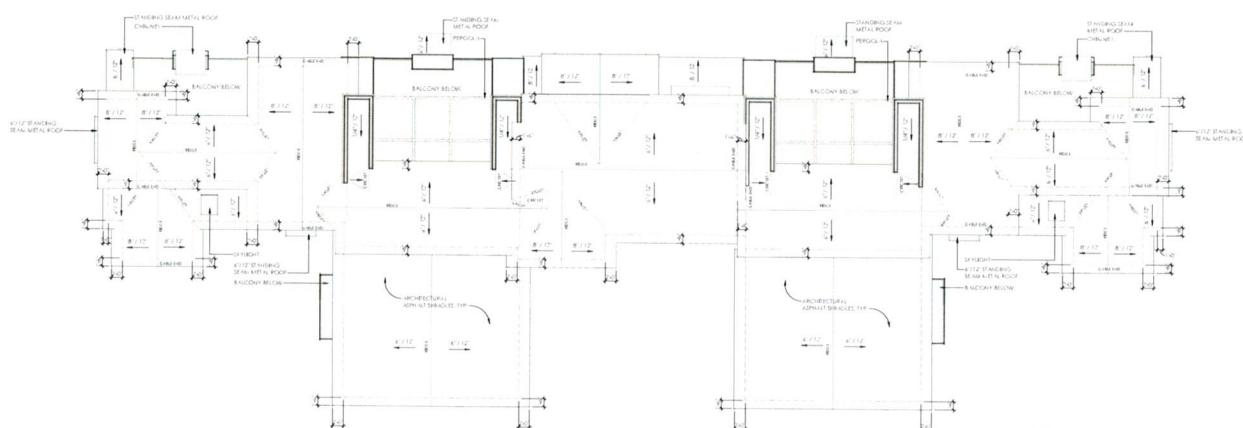
SK5

MIK ARCHITECTURE



AREA CALCULATIONS			
UNIT 1 & 2			
CL-WTR	64'-0"		
CL-FIN	12'-0"		
CL-FIN	12'-0"		
TOTAL HEATED	2,388 SF		
UNIT 3 & 4			
CL-WTR	44'-0"		
CL-FIN	11'-0"		
CL-FIN	11'-0"		
TOTAL HEATED	2,472 SF		
UNIT 5			
CL-WTR	57'-0"		
CL-FIN	12'-0"		
CL-FIN	12'-0"		
TOTAL HEATED	2,760 SF		

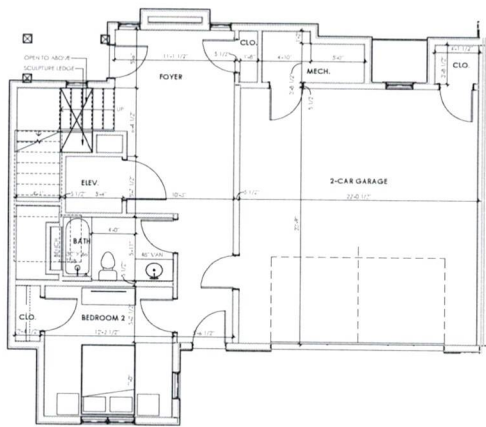
① LEVEL 3
SCALE: 1/8" = 1'-0"



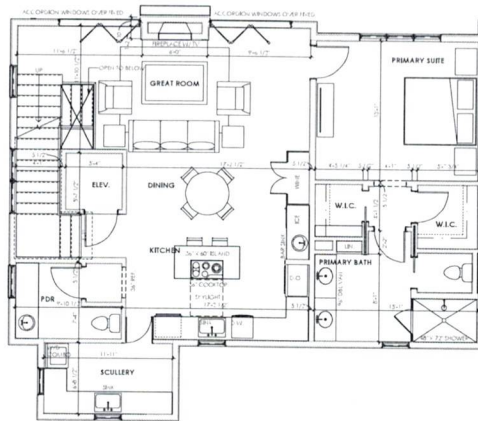
② ROOF
SCALE: 1/8" = 1'-0"

SK6 **MIK** ARCHITECTURE

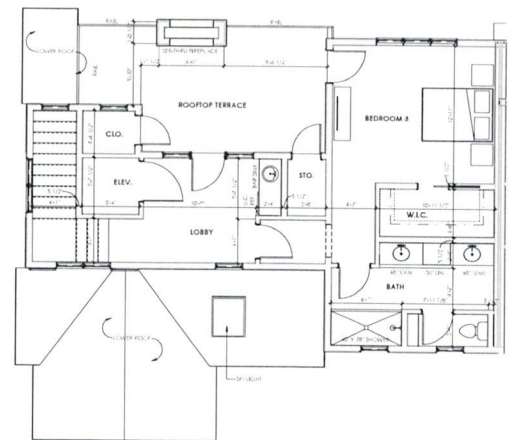
100% ARCHITECTURAL CONSTRUCTION



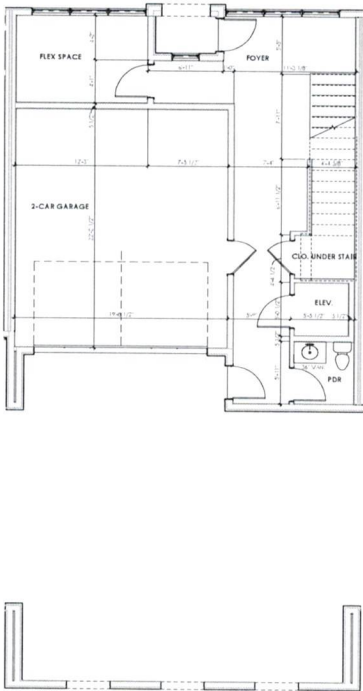
① UNIT 1 & 5 MIR. LEVEL 1
SCALE: 1/4" = 1'-0"



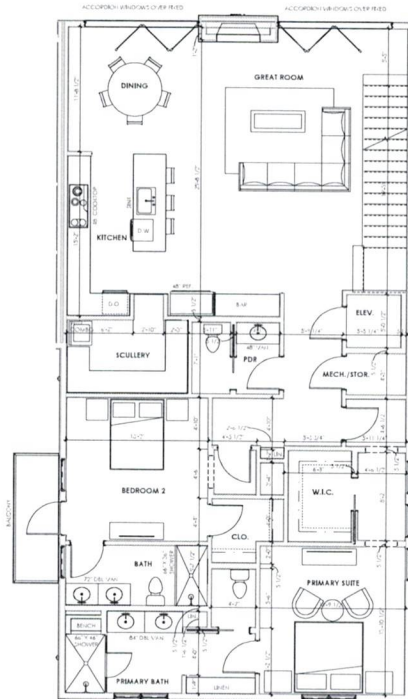
② UNIT 1 & 5 MIR. LEVEL 2
SCALE: 1/4" = 1'-0"



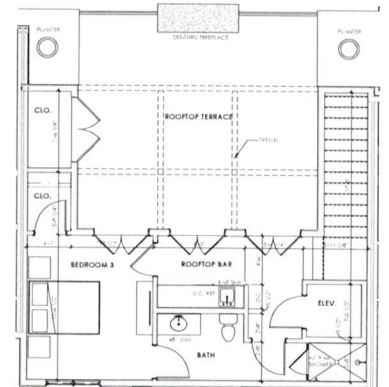
③ UNIT 1 & 5 MIR. LEVEL 3
SCALE: 1/4" = 1'-0"



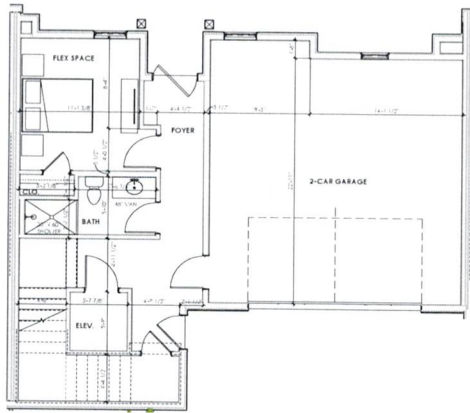
① UNIT 2 & 4 MIR, LEVEL 1
SCALE: 1/4" = 1'-0"



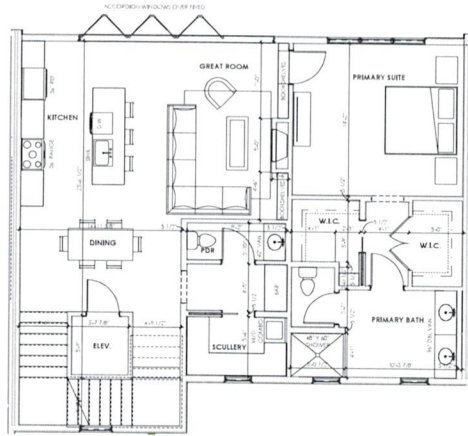
② UNIT 2 & 4 MIR, LEVEL 2
SCALE: 1/4" = 1'-0"



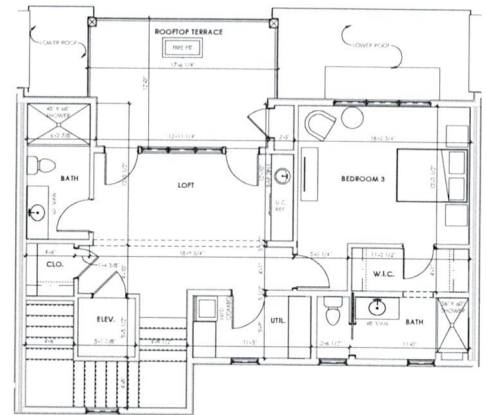
③ UNIT 2 & 4 MIR, LEVEL 3
SCALE: 1/4" = 1'-0"



① UNIT 3 LEVEL 1
SCALE: 1/4" = 1'-0"



② UNIT 3 LEVEL 2
SCALE: 1/4" = 1'-0"



③ UNIT 3 LEVEL 3
SCALE: 1/4" = 1'-0"

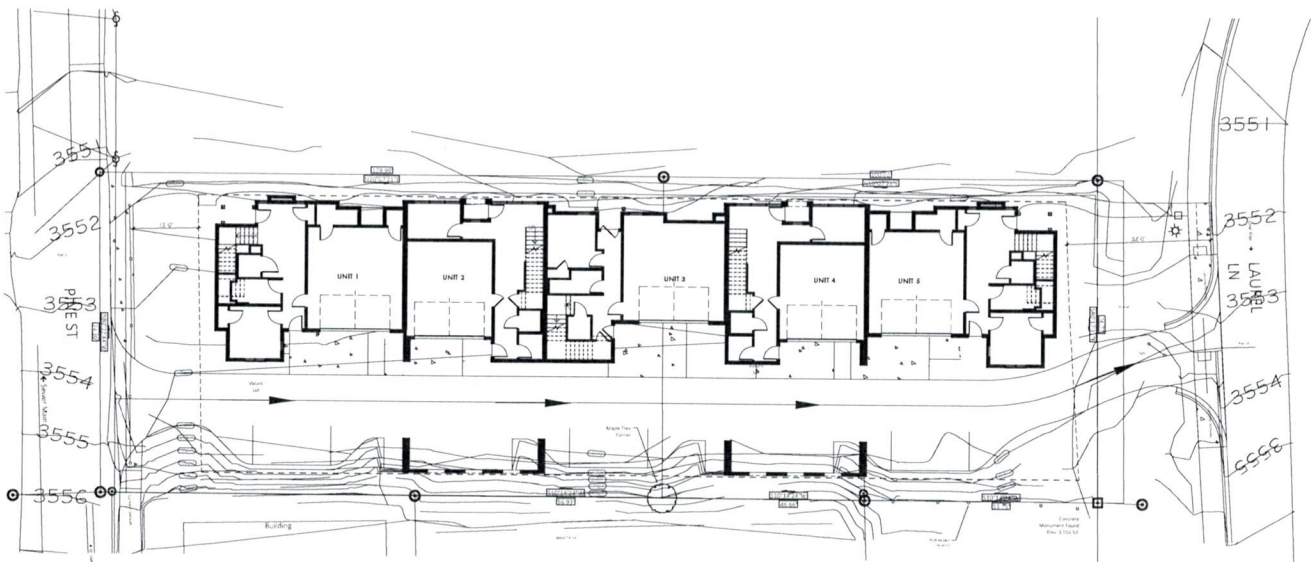


144 PINE ST BLOWING ROCK, NORTH CAROLINA

LAND USE REQUIREMENTS / CONDITIONS			
RESIDENTIAL - SINGLE-FAMILY			
MIN. LOT AREA: 1/2 AC. (17,424 SQ. FT.)			
	PERMITTED	NOT PERMITTED	
LOT AREA	> 1/2 AC. (17,424 SQ. FT.)	< 1/2 AC. (17,424 SQ. FT.)	MIN.
LOT COVER	> 25%	< 25%	MIN.
BUILDING HEIGHT	< 35 FT.	> 35 FT.	MAX.
NUMBER OF UNITS	< 3 RESIDENTIAL**	> 3 RESIDENTIAL**	MAX.
**UNITS PER LOT TO BE DETERMINED BY THE ZONING DEPARTMENT			
OTHER NOTES: 1. ALL GASOLINE TANKS MUST BE PROTECTED BY A CONCRETE PAD.			
2. ALL GASOLINE TANKS MUST BE PROTECTED BY A CONCRETE PAD.			
3. ALL GASOLINE TANKS MUST BE PROTECTED BY A CONCRETE PAD.			
4. ALL GASOLINE TANKS MUST BE PROTECTED BY A CONCRETE PAD.			

1100 ARCHITECTURE COMPANY, INC.

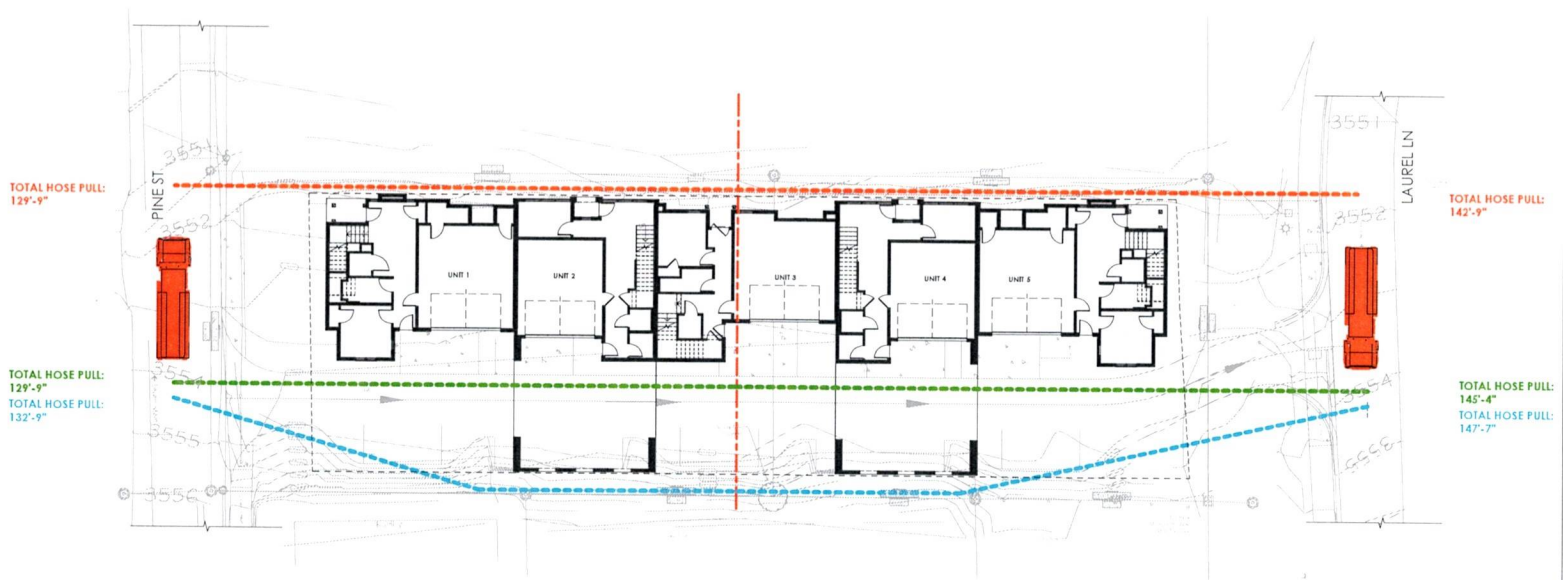
1100 ARCHITECTURE



① SITE PLAN
SCALE: 1" = 10'-0"

SK1.11 | **MIK** ARCHITECTURE

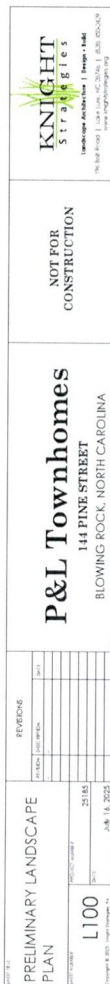
MIK ARCHITECTURE COPYRIGHT © 2023



① SITE PLAN
SCALE: 1" = 10'-0"

SK1 | **MIK** ARCHITECTURE

100% ARCHITECTURAL CONCEPT & PLAN





① 3D VIEW 1
SCALE



② 3D VIEW 2
SCALE



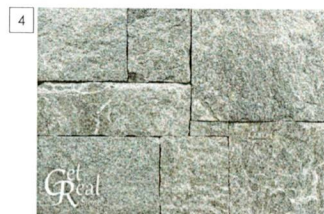
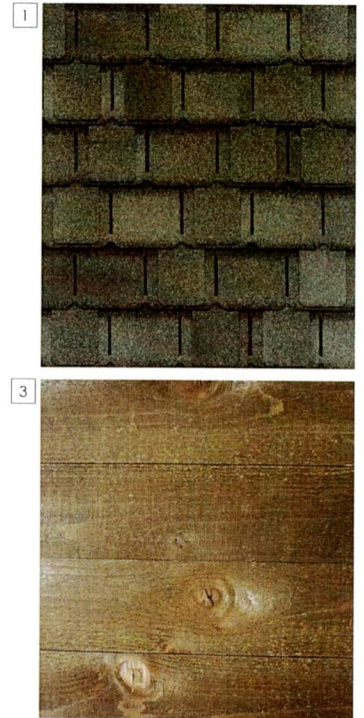
③ 3D VIEW 3
SCALE



④ 3D VIEW 4
SCALE

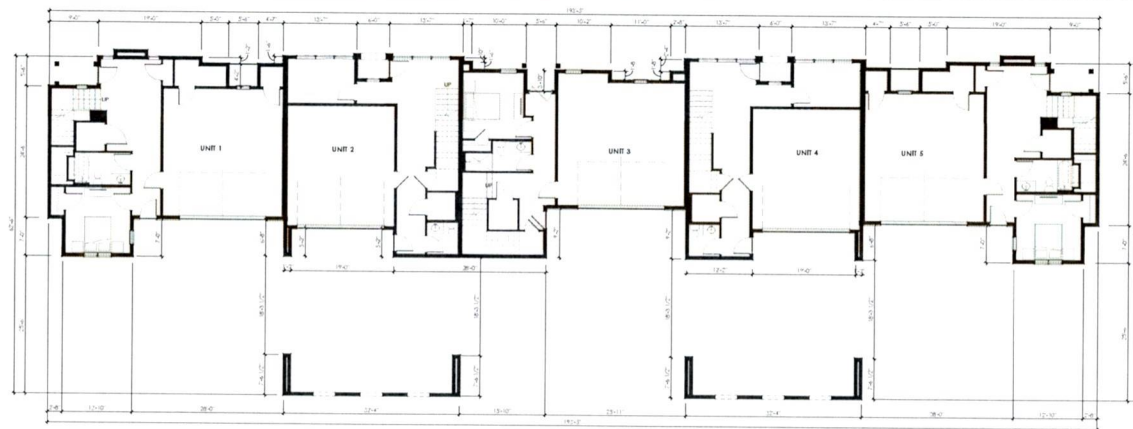
SK2 | **MIK**ARCHITECTURE

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MATERIAL	MANUFACTURER	COLOR
1. ROOF	GAF CAMELOT II	ANTIQUE SLATE
2. ROOF	STANDING SEAM METAL ROOF	SLATE GRAY
3. WOOD SIDING	MONTANA TIMBER PRODUCTS	WIREBRUSHED CEDAR; AQUAFIR STAIN "OLYMPIC"
4. STONE CLADDING	GET REAL STONE NATURAL THIN VENEER	RANDOM ASHLAR; LAKE JAMES
5. METAL CLADDING	TBD	COLD ROLLED BLUE STEEL (PATINA'D)
6. WINDOWS & DOORS	WEATHERSHIELD	JET BLACK

SK4 | MIK ARCHITECTURE

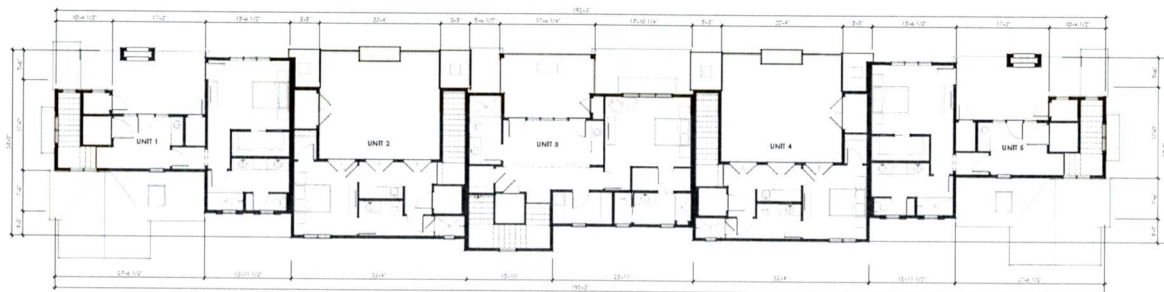


① LEVEL 1
SCALE: 1/8" = 1'-0"

AREA CALCULATIONS			
UNIT 1 & 5			
CLUSTER	647.07		
APPROX.	1,240.00		
DIFFER.	592.93		
TOTAL HEATED	2,588.07		
UNIT 2 & 4			
CLUSTER	474.27		
APPROX.	1,115.00		
DIFFER.	640.73		
TOTAL HEATED	2,470.00		
UNIT 3			
CLUSTER	574.27		
APPROX.	1,224.00		
DIFFER.	649.73		
TOTAL HEATED	2,761.00		

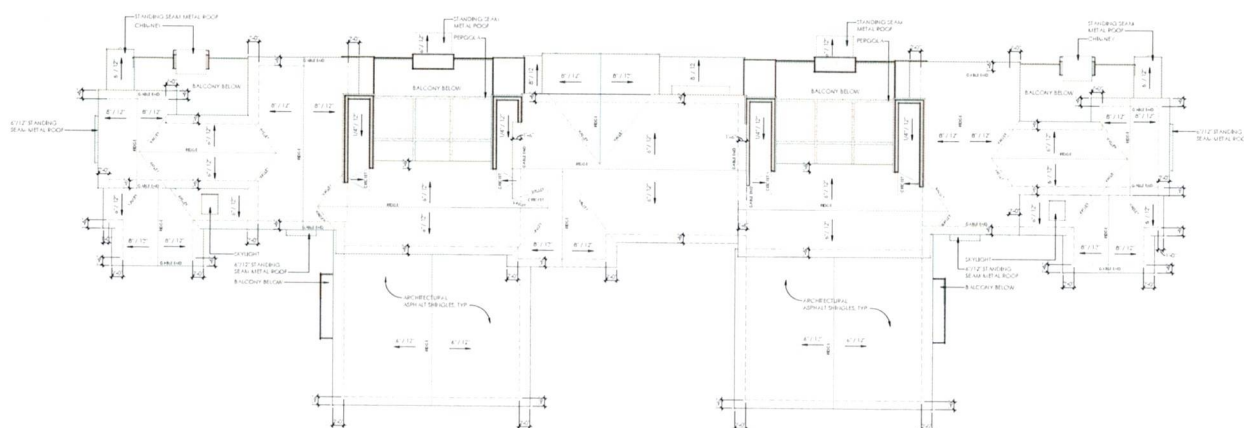


② LEVEL 2
SCALE: 1/8" = 1'-0"



AREA CALCULATIONS			
UNIT 1 & 2			
UNIT 1	447.37		
UNIT 2	1,246.37		
UNIT 3	427.37		
TOTAL HEATED	2,121.11		
UNIT 4 & 5			
UNIT 4	414.37		
UNIT 5	1,111.37		
TOTAL HEATED	1,525.74		
UNIT 6			
UNIT 6	574.37		
TOTAL HEATED	574.37		
TOTAL HEATED	2,701.22		

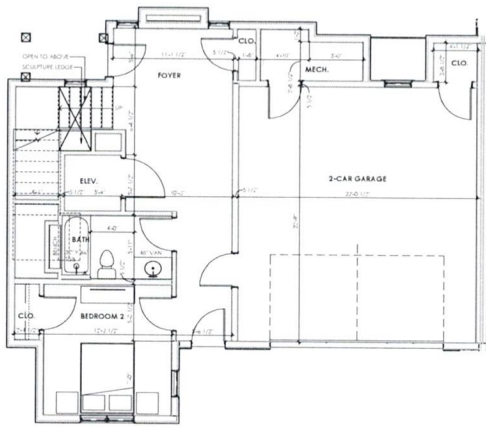
① LEVEL 3
SCALE: 1/8" = 1'-0"



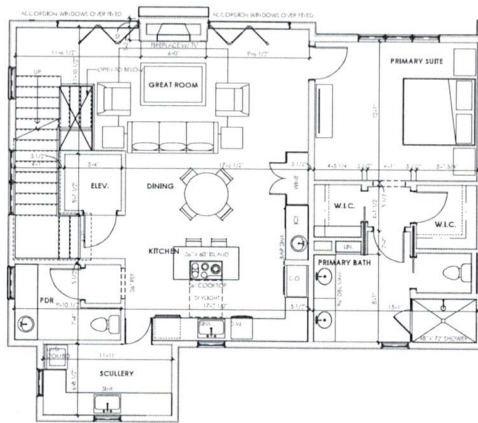
② ROOF
SCALE: 1/8" = 1'-0"

SK6 **MIK** ARCHITECTURE

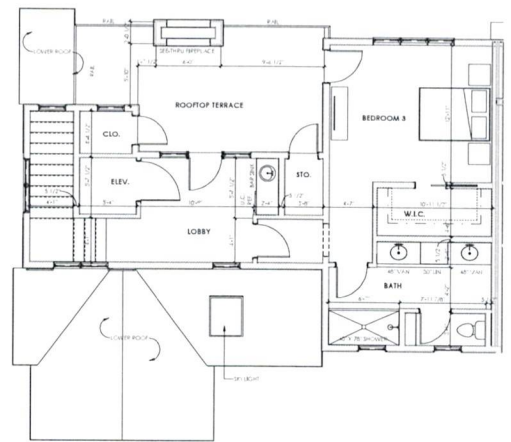
100% ARCHITECTURAL COPYRIGHT © 2015



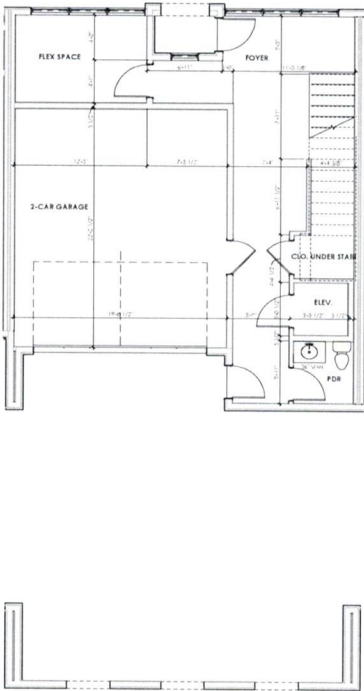
① UNIT 1 & 5 MIR, LEVEL 1
SCALE: 1/4" = 1'-0"



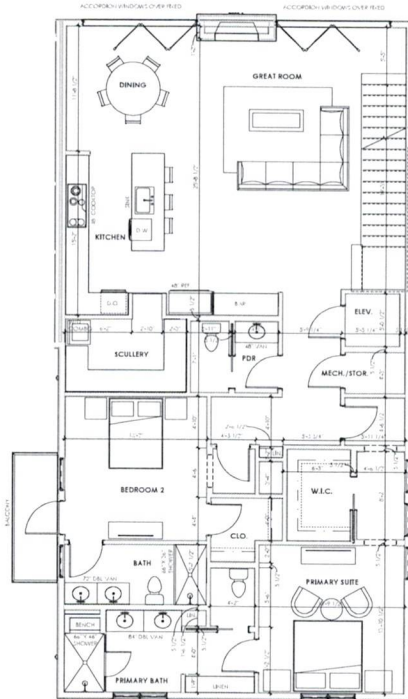
② UNIT 1 & 5 MIR, LEVEL 2
SCALE: 1/4" = 1'-0"



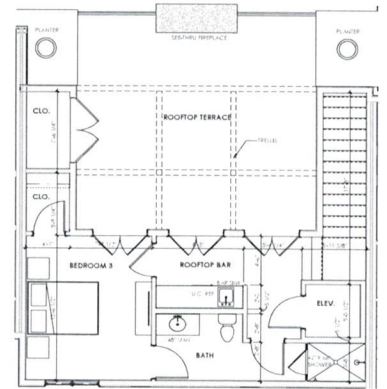
③ UNIT 1 & 5 MIR, LEVEL 3
SCALE: 1/4" = 1'-0"



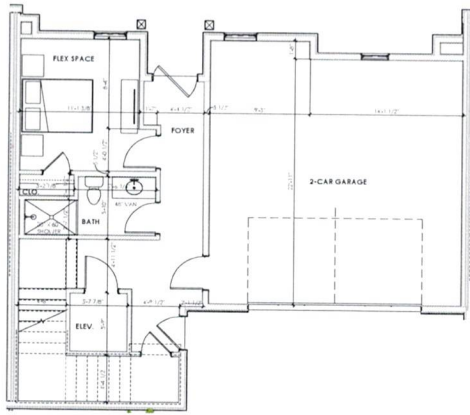
① UNIT 2 & 4 MIR. LEVEL 1
SCALE: 1/4" = 1'-0"



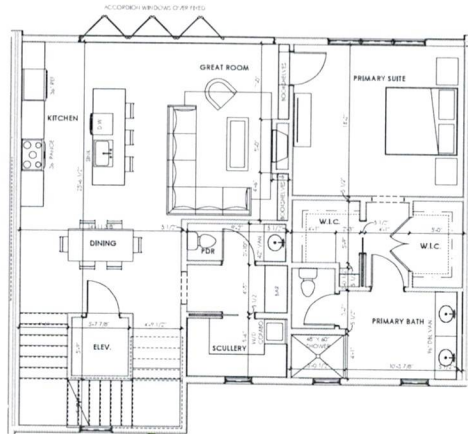
② UNIT 2 & 4 MIR. LEVEL 2
SCALE: 1/4" = 1'-0"



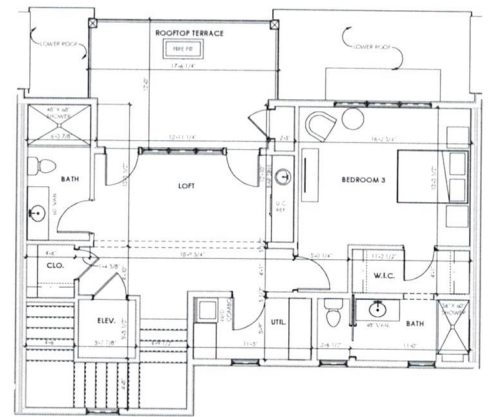
③ UNIT 2 & 4 MIR. LEVEL 3
SCALE: 1/4" = 1'-0"



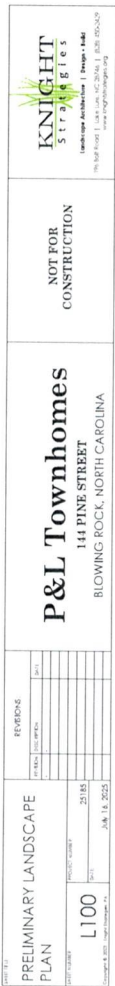
① UNIT 3 LEVEL 1
SCALE: 1/4" = 1'-0"



② UNIT 3 LEVEL 2
SCALE: 1/4" = 1'-0"



③ UNIT 3 LEVEL 3
SCALE: 1/4" = 1'-0"





① SK - WEST ELEVATION 1
SCALE: 1/8" = 1'-0"



② SK - EAST ELEVATION 1
SCALE: 1/8" = 1'-0"



③ SK - NORTH ELEVATION 1
SCALE: 1/8" = 1'-0"



④ SK - SOUTH ELEVATION 1
SCALE: 1/8" = 1'-0"

BLOWING ROCK TOWNHOMES

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SK3A | MHK ARCHITECTURE

Regular Agenda - Staff Report

To: Mayor Charlie Sellers and the Blowing Rock Town Council

From: Shane Fox, Town Manager

Subject: TDA Board Appointment

Date: November 12, 2025

Information:

The Town Council needs to appoint a replacement for the recent vacated lodging position that was held by Allie Borchardt, the position is valid through February 2028, and must be someone in the lodging profession.

Attachments:

1. Packet of Board Applications